

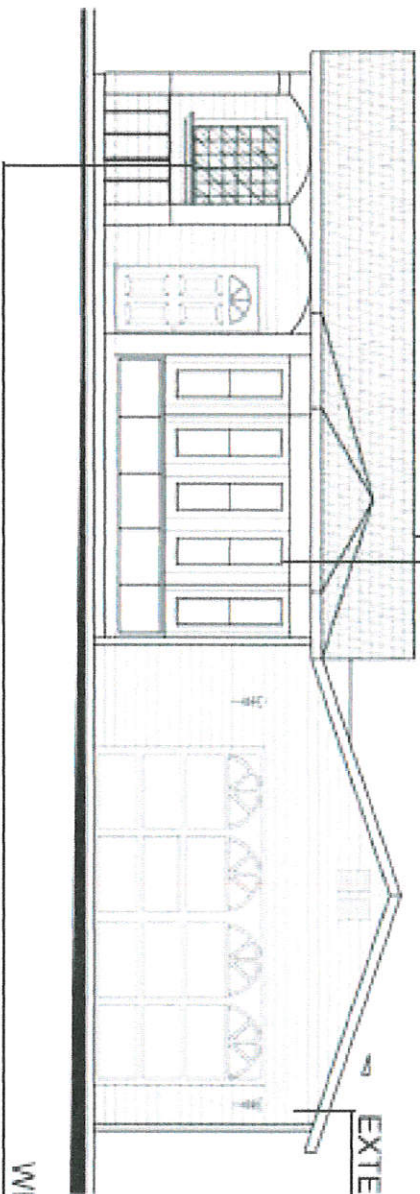
0.07
0
0.04
0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,256



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION



ROOFING: Heritage Architectural Shingles

TRIM: Smart Trim from LP Building Products

EXTERIOR WALLS: Chempanel fiber cement siding

WINDOWS: Series 1500 from Kinro



EXTERIOR WALLS

Swiss Coffee

Specify #50YY 83/057

Order # A0073

The Master Palette



TRIM

Mansard Stone

Specify # 30YY 20/029

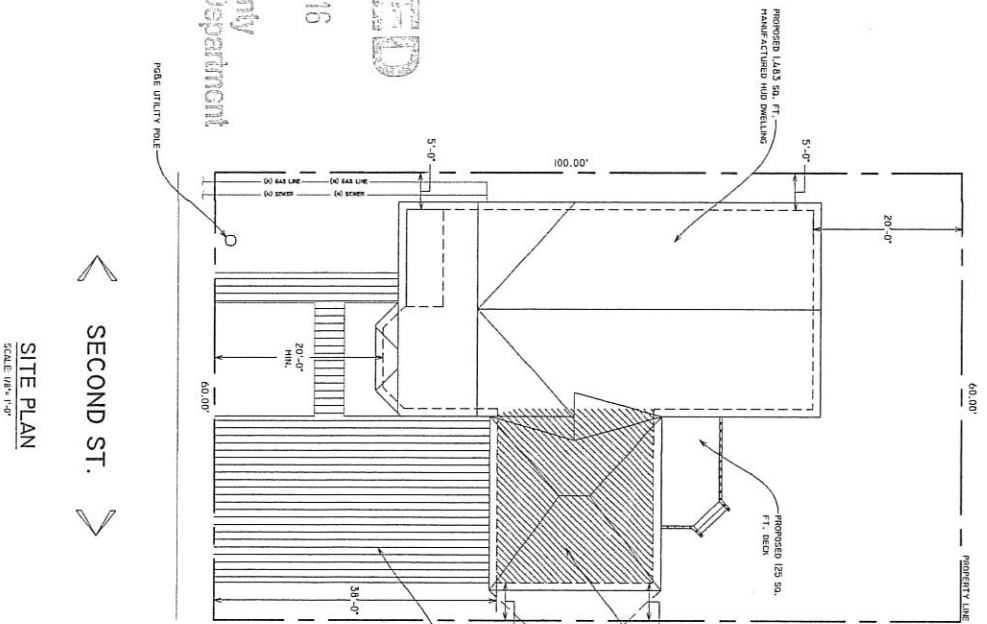
Order # A1832

The Master Palette



SAMPLE PRIMARY BUILDING ELEVATION: 2ND STREET - MONTARA, CA

BURLESON RESIDENCE PROPOSED HUD DWELLING & 2-CAR GARAGE SECOND ST. • MONTARA, CA 94037



RECEIVED
MAR 23 2016
San Mateo County
Planning and Building Department

NOTE:
FIELD VERIFY SITE SET-BACKS PRIOR TO EXCAVATION. FOR ANY REVISIONS, CHECK WITH CITY DESIGNER.
NO CONSERVATION FLOW ACROSS NEIGHBORING PROPERTIES.



SECOND ST. >
SITE PLAN
SCALE 1/8" = 1'-0"

APPLICABLE CODES CALIFORNIA BUILDING CODE (CBC) 2013 CALIFORNIA ELECTRICAL CODE (CEC) 2013 CALIFORNIA MECHANICAL CODE (CMC) 2013 CALIFORNIA PLUMBING CODE (CPC) 2013 CALIFORNIA FIRE CODE (CFC) 2013 CALIFORNIA RESIDENTIAL CODE (CRR) 2013	PROJECT DATA A.P.N. # 066-013-110 OCCUPANCY GROUP R-3/U CONSTRUCTION TYPE V-B ZONING R-1	GENERAL NOTES 1) EXISTING EXTERIOR FLOOR FINISH SHALL BE 2" OF 3/8" GRANITE POLISHED TERRAZZO OVER A 2" REINFORCED CONCRETE SLAB ON GRADE. ALL EXISTING EXTERIOR FINISHES SHALL BE 4" MIN. MAX. ABOVE FINISH FLOOR AND EXPOSED UNLESS OTHERWISE NOTED. REVISIONS SHALL BE OK'ED. 2) PROPOSED SPACE SECTIONS IN EXISTING SETTINGS BATTERY SHALL BE AT A MINIMUM 18" FROM EXISTING BATTERY BATTERY BACKUP. 3) ALL SPACE SECTIONS IN NEW CONSTRUCTION SHALL BE AT A MINIMUM 18" FROM EXISTING BATTERY BATTERY BACKUP. 4) SPACE/THEM SHALL BE TAKEN INTO ACCOUNT SHALL BE TO A MINIMUM OF 12" FROM EXISTING BATTERY BATTERY BACKUP. (SEE OTHER SHEETS FOR DETAILS.) 5) PER BOLS, 3. 3.04.2, GLAZING IN HAZARDOUS AREAS SHALL BE REINFORCED WITH GLASS BRICK OR OTHER MATERIALS TO MEET THE REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 703.2.2 (GLASS BRICK AND OTHER MATERIALS). 6) ANY REVISIONS FROM THE PLANS, WHICH ARE NECESSARY FOR THE FIELD CONDITIONS OR ANY OTHER REASON, SHALL BE CALLED TO THE ATTENTION OF THE OWNER PRIOR TO COMMENCING CONSTRUCTION. ALL WORK IS THE OWNER'S RESPONSIBILITY. REVISIONS ARE SUBJECT TO THE DESIGNER'S REVIEW AND APPROVAL. THE DESIGNER'S REVIEW IS NOT A GUARANTEE. MECHANICAL-PLUMBING-ELECTRICAL NOTES 1) TERMINATION OF ALL PENETRATIONS, AIR SIGNS SHALL BE A MINIMUM OF 3" FROM ANY OPENINGS IN THE CEILING (I.E., OPENING, STAIR, AND ENTRY) AND ETC. EXCEPT AS NOTED OTHERWISE. 2) WATER TIGHTNESS SHALL BE MAINTAINED WITH A MINIMUM OF 4" FROM THE PENETRATION. 3) SCOPED APPROVAL OF WATER RELATION TO INCLUDE AND COVER ALL OF ITS VERTICAL PENETRATIONS, INCLUDING, BUT NOT LIMITED TO, THE PENETRATIONS, INCLUDING, BUT NOT LIMITED TO, THE PENETRATIONS, INCLUDING, BUT NOT LIMITED TO, THE PENETRATIONS. 4) WATER TIGHTNESS SHALL BE MAINTAINED WITH A MINIMUM OF 4" FROM THE PENETRATION. 5) TOLERANCE COMPARISON SHALL BE PROVIDED WITH A MINIMUM OF 4" FROM THE PENETRATION. 6) SPOKE HEAD SHALL A MAX. FLOW OF 2.1 GPM (PER 4.02.2) AND FAULTS TO HAVE A MAXIMUM FLOW OF 2.2 GPM. (PER 4.02.2) 7) ALL BRANCH CIRCUITS THAT CARRY 125 VOLT SINGLE-PHASE 15 AMP ZONE REFRIGERATE OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) SHALL BE A MINIMUM OF 4" FROM THE PENETRATION.
SCOPE OF WORK • NEW MANUFACTURED (HUD) DWELLING • NEW 2-CAR GARAGE • NEW REAR DECK	SITE AREA A.1) LOT SIZE 6,000 SQ. FT. B.2) NEW HUD DWELLING 1,483 SQ. FT. C.3) NEW 2 - CAR GARAGE 600 SQ. FT. D.3) NEW DECK 125 SQ. FT. TOTAL LIVING = 1,483 SQ. FT.	APPLICABLE CODES CALIFORNIA BUILDING CODE (CBC) 2013 CALIFORNIA ELECTRICAL CODE (CEC) 2013 CALIFORNIA MECHANICAL CODE (CMC) 2013 CALIFORNIA PLUMBING CODE (CPC) 2013 CALIFORNIA FIRE CODE (CFC) 2013 CALIFORNIA RESIDENTIAL CODE (CRR) 2013
DRAWING INDEX A1 SITE PLAN A1.1 LANSCHRE PLAN A1.1 BRANDBASE PLAN A2 FLOOR PLAN A3 DECK FINISHING PLAN A4 ROOF FINISHING PLAN A5 CROSS SECTIONS I & 2 A6 GARAGE STAIR DETAIL FN-1 FOUNDATION PLAN FN-2 FOUNDATION DETAILS	PROJECT DATA A.P.N. # 066-013-110 OCCUPANCY GROUP R-3/U CONSTRUCTION TYPE V-B ZONING R-1	SCOPE OF WORK • NEW MANUFACTURED (HUD) DWELLING • NEW 2-CAR GARAGE • NEW REAR DECK
SITE AREA A.1) LOT SIZE 6,000 SQ. FT. B.2) NEW HUD DWELLING 1,483 SQ. FT. C.3) NEW 2 - CAR GARAGE 600 SQ. FT. D.3) NEW DECK 125 SQ. FT. TOTAL LIVING = 1,483 SQ. FT. F.A.R. 0.25% LOT COVERAGE 0.35%	APPLICABLE CODES CALIFORNIA BUILDING CODE (CBC) 2013 CALIFORNIA ELECTRICAL CODE (CEC) 2013 CALIFORNIA MECHANICAL CODE (CMC) 2013 CALIFORNIA PLUMBING CODE (CPC) 2013 CALIFORNIA FIRE CODE (CFC) 2013 CALIFORNIA RESIDENTIAL CODE (CRR) 2013	DRAWING INDEX A1 SITE PLAN A1.1 LANSCHRE PLAN A1.1 BRANDBASE PLAN A2 FLOOR PLAN A3 DECK FINISHING PLAN A4 ROOF FINISHING PLAN A5 CROSS SECTIONS I & 2 A6 GARAGE STAIR DETAIL FN-1 FOUNDATION PLAN FN-2 FOUNDATION DETAILS

PLN 2015-00552



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SECOND ST.
MONTARA, CA 94037

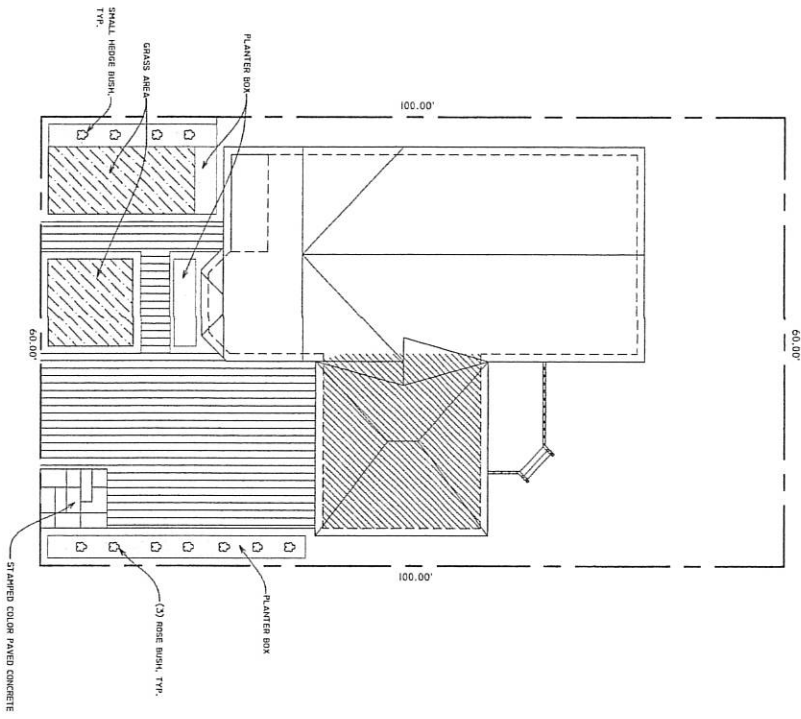
PROPOSED
2 - CAR GARAGE

NO.	REVISION	DATE	ISSUED FOR

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Job Sheet A1

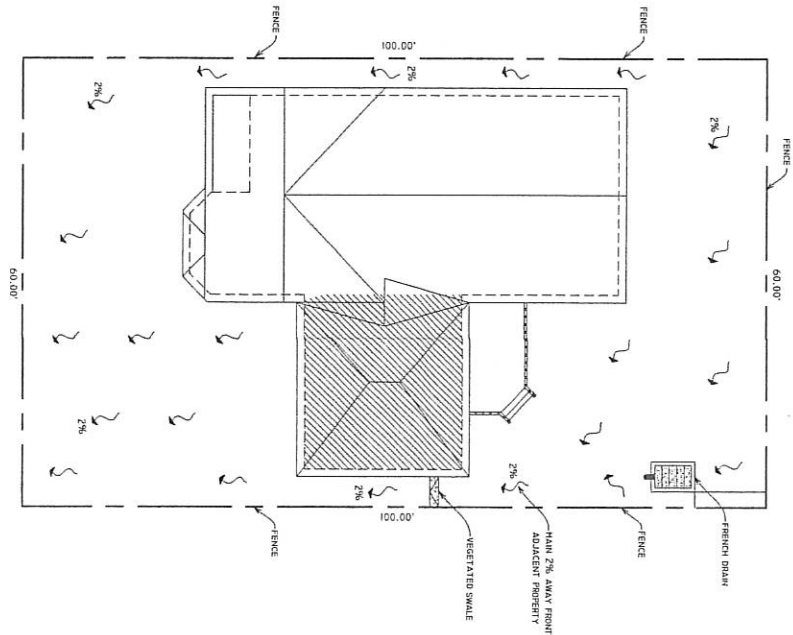
SECOND ST.

LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



SECOND ST.

DRAINAGE PLAN
SCALE: 1/8" = 1'-0"



Sheet A1.1

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 gresidential@gmail.com

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 MONTARA, CA 94037

PROPOSED
 2 - CAR GARAGE

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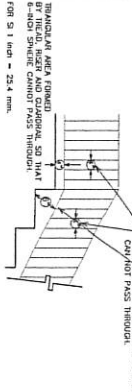
NTS GUARDRAIL DETAIL GRD

- GUARDRAILS ARE NOT REQUIRED ON THE LANDING SIDE OF STAIRS OR ALONG VERTICAL CURVES. THIS IS NOT ACCESSIBLE TO THE PUBLIC FOR HANDICAPPED ACCESS.
- GUARDRAILS SHALL BE MINIMUM 42" HIGH ABOVE FINISHED FLOOR, HAVING A STATIONARY BALANCE, TOP OF OCCUPANCY AND WHEN OCCUPANCY THIS IS OVER HEIGHT IS QUAD ON THE GROUND LEVEL. THE GUARDRAIL HEIGHT IN HIGH AND LOW STAIRS SHALL BE MINIMUM 36" INCHES (914 mm).
- IN COMMERCIAL AND INDUSTRIAL USES WHERE THE PUBLIC IS NOT EXCLUDED FROM THROUGH OCCUPANCY, GUARDRAILS MAY TAKE VERTICAL CURVES THROUGH.
- RAIL OR FLOOR OF THE FIRST FLOOR OF RAMP STAIRS, AND MUST BE NOT LESS THAN 42" HIGH ABOVE FINISHED FLOOR.
- ASKIN FOR BRACKS BEZELS, GUARDRAILS ARE NOT REQUIRED ON THE AUTOMATIC SIDE OF A STAIR OR OCCUPANCY PLATFORM.

BRACKS ARE NOT REQUIRED ON THE LANDING SIDE OF STAIRS OR ALONG VERTICAL CURVES. THIS IS NOT ACCESSIBLE TO THE PUBLIC FOR HANDICAPPED ACCESS.

BRACKS ARE NOT REQUIRED ON THE LANDING SIDE OF STAIRS OR ALONG VERTICAL CURVES. THIS IS NOT ACCESSIBLE TO THE PUBLIC FOR HANDICAPPED ACCESS.

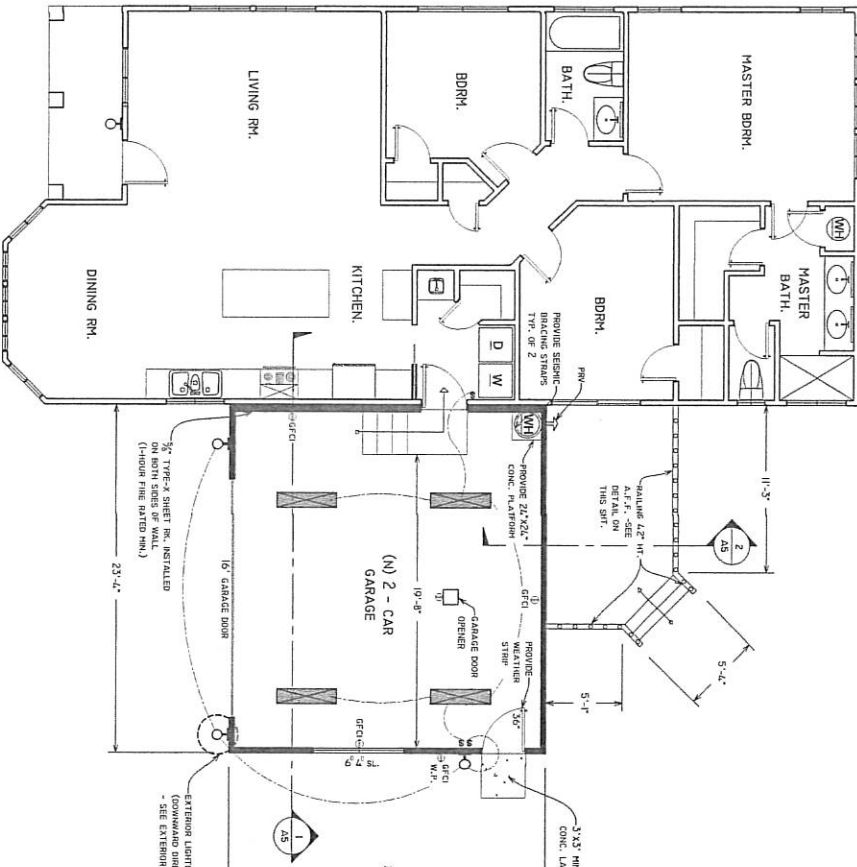
BRACKS ARE NOT REQUIRED ON THE LANDING SIDE OF STAIRS OR ALONG VERTICAL CURVES. THIS IS NOT ACCESSIBLE TO THE PUBLIC FOR HANDICAPPED ACCESS.



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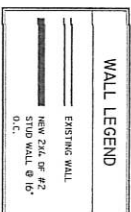
BRACKS ARE NOT REQUIRED ON THE LANDING SIDE OF STAIRS OR ALONG VERTICAL CURVES. THIS IS NOT ACCESSIBLE TO THE PUBLIC FOR HANDICAPPED ACCESS.

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FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXTERIOR LIGHTING NOTE
 EXTERIOR LIGHTING TO BE DIMMABLE SELECTED REFERENCE MODEL, WOULD OPENING DIMMABLE WALL LAP (AW000354.2)



PLEASE NOTE:
 EXTERIOR LIGHTING SHALL BE 2 1/2" x 4" x 8" DIMENSIONS FROM THE TOP OF THE THRESHOLD TO THE LANDING.

PLEASE NOTE:
 ANY REVISIONS FROM THE PLAN, WHICH ARE NECESSARY FOR THE FIELD CONDITIONS OR ANY CONDITIONS FROM THOSE INDICATED ON PLAN, SHALL BE SPECIFIED AS HIGH EFFICIENCY LIGHTING CONTROLLED BY A DIMMER SWITCH. ALL WORK IS TO BE COORDINATED SO THE OPERATION BETWEEN THE TRADES, WHERE REQUIRED, IS ACCOMPLISHED.

HIDE NOTES:
 • LUMINAIRE RECEIVED INTO INSULATED GARAGE SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION CONTACT (ZCIC) BY UNDERWRITERS LABORATORIES OR OTHER TESTING/LABORATORY RECOMMENDED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. AND SHALL INCLUDE A LABEL CONFORMING TO THE REQUIREMENTS OF UL 1571 (1172) AND ENLARGE LESS THAN 2.0 CM AT 75 HERTZ (FOR 1571/1172) WHEN TESTED IN ACCORDANCE WITH ASTM E263, AND SHALL BE SEALED WITH A GASKET OR GASKET BETWEEN THE HOUSING AND CEILING.

- SMOKE DETECTOR IN EACH ROOM, IN EACH HALL, ADJACENT TO A BEDROOM, AND ON EACH FLOOR.
- ALL LIGHTING IN BATH ROOMS, LAMEN ROOMS, GARAGE AND UTILITY ROOMS TO BE HIGH EFFICIENCY (FLUORESCENT).
- ALL OUTDOOR LIGHTING THAT IS MOUNTED TO THE BUILDING SHALL BE SPECIFIED AS HIGH EFFICIENCY LIGHTING CONTROLLED BY A DIMMER SWITCH AND CONTROLLED BY A PHOTO SENSOR WITH INTEGRATED PHOTO CELL.
- ELECTRICAL, MECHANICAL, AND PIPING SCOPE OF WORK SHALL BE IDENTIFIED BY A DIMENSION LINE AND A NOTE.
- PROVIDE WEATHER PROTECTION FOR EXTERIOR LIGHTING FIXTURES
- ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED (SEE 106.8 (B)(1))
- AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (SEE 201.10(C)(3))
- ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, GAWL, SPACES, UNFINISHED GARAGES, ATTACHED GARAGES RECEPTACLES SERVE COUNTER TOP SPACES), LAMEN, UTILITY, WET BAR SINK (WITHIN 6 FEET OF THE EDGE OF SINK), SHALL HAVE A GROUND-FULT CIRCUIT INTERRUPTER (GFCI) PROTECTION. (SEE 201.8)

ELECTRICAL SYMBOL LEGEND

⊕	WALL SWITCH	⊕	SMOKE DETECTOR
⊕	WALL SWITCH WITH DIMMER	⊕	125 VOLT 15 AMPER BACKUP
⊕	OUTLET	⊕	LIGHT FIXTURE
⊕	EXHAUST FAN	⊕	1 1/2" SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
⊕	20 WATT CFL ENERGY STAR RECESSED CAN WITH ELECTRONIC BALLAST, WHITE REFLECTOR AND TRIM.	⊕	FLUORESCENT VANTY LIGHT FIXTURE WITH 18 LAMPS AND ELECTRONIC BALLAST
⊕	HIGH EFFICIENCY EXTERIOR FLUORESCENT SCENE		

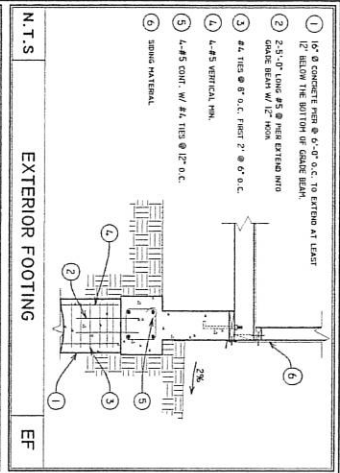
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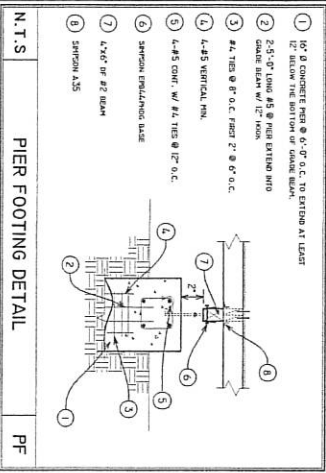
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 2 - CAR GARAGE

NO.	REVISION	DATE	BY	ISSUED FOR

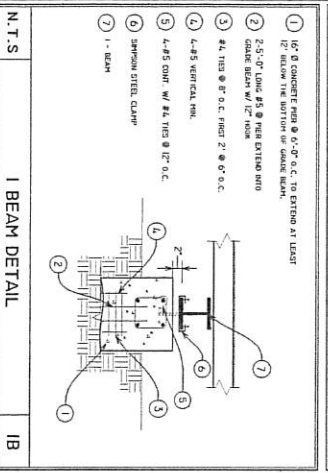
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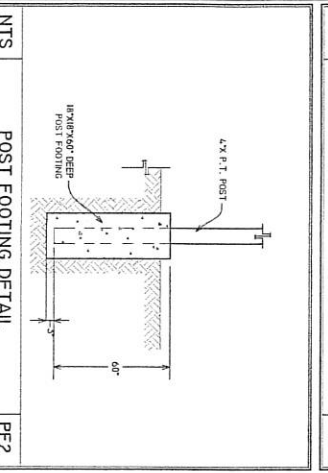
- N.T.S.**
- 10" Ø CONCRETE PIER @ 6'-0" O.C. TO EXTEND AT LEAST 12" BELOW THE BOTTOM OF GRADE BEAM.
 - 2'-5"-Ø LONG #5 @ 12" HOOK GRADE BEAM W/ 12" HOOK.
 - #4 TIES @ 8" O.C. FROM 2' @ 6" O.C.
 - L-45 VERTICAL IRL.
 - L-45 CHNL. W/ #4 TIES @ 12" O.C.
 - SECTION ENLIGHTENING BASE
 - 2"x6" W/ #2 BEAM
 - SECTION A-35
 - FORM MATERIAL



- N.T.S.**
- PIER FOOTING DETAIL**
- PF**
- 10" Ø CONCRETE PIER @ 6'-0" O.C. TO EXTEND AT LEAST 12" BELOW THE BOTTOM OF GRADE BEAM.
 - 2'-5"-Ø LONG #5 @ 12" HOOK GRADE BEAM W/ 12" HOOK.
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 - L-45 VERTICAL IRL.
 - L-45 CHNL. W/ #4 TIES @ 12" O.C.
 - SECTION ENLIGHTENING BASE
 - 2"x6" W/ #2 BEAM
 - SECTION A-35



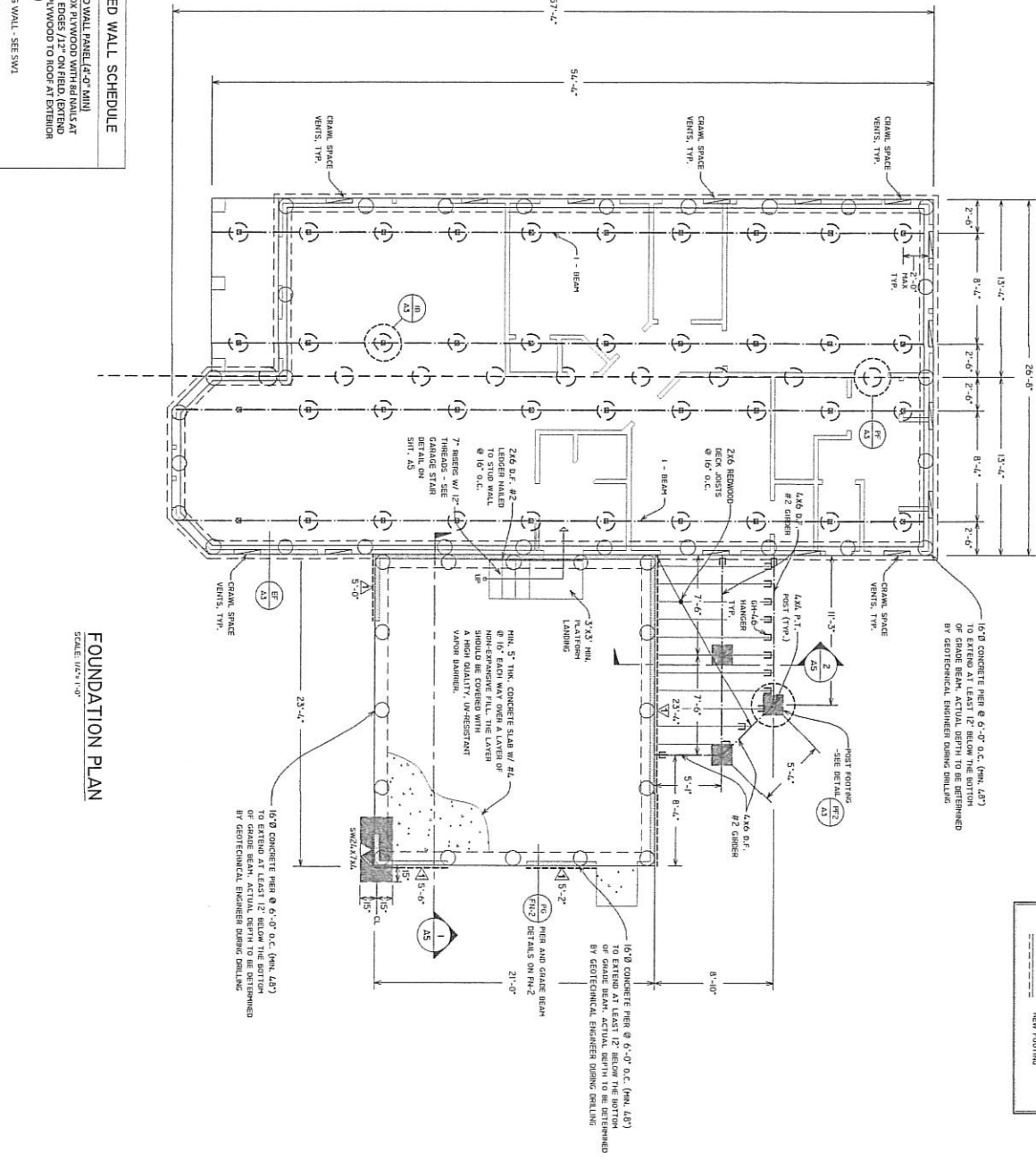
- N.T.S.**
- I BEAM DETAIL**
- IB**
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 - 2'-5"-Ø LONG #5 @ 12" HOOK GRADE BEAM W/ 12" HOOK.
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 - L-45 VERTICAL IRL.
 - L-45 CHNL. W/ #4 TIES @ 12" O.C.
 - SECTION ENLIGHTENING BASE
 - 2"x6" W/ #2 BEAM
 - SECTION A-35



- N.T.S.**
- POST FOOTING DETAIL**
- PF2**
- 10" Ø CONCRETE PIER @ 6'-0" O.C. TO EXTEND AT LEAST 12" BELOW THE BOTTOM OF GRADE BEAM.
 - 2'-5"-Ø LONG #5 @ 12" HOOK GRADE BEAM W/ 12" HOOK.
 - #4 TIES @ 8" O.C. FROM 2' @ 6" O.C.
 - L-45 VERTICAL IRL.
 - L-45 CHNL. W/ #4 TIES @ 12" O.C.
 - SECTION ENLIGHTENING BASE
 - 2"x6" W/ #2 BEAM
 - SECTION A-35

BRACED WALL SCHEDULE

BRACED WALL PANEL (4'-0" MIN)
3/8" DIA. RIVWOOD WITH RIG NAILS AT WALL CORERS 1/2" ON BEEL, EXTEND WALL RIVWOOD TO 1/2" IN EXTENSION WALLS
STRONG WALL - SEE SW1



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

FOOTING LEGEND

---	NEW FOOTING
-----	-------------

REVISION	DATE	BY	ISSUED FOR

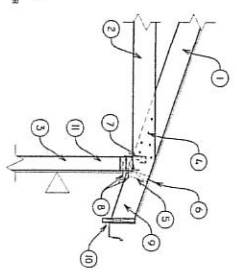
PROPOSED
2 - CAR GARAGE

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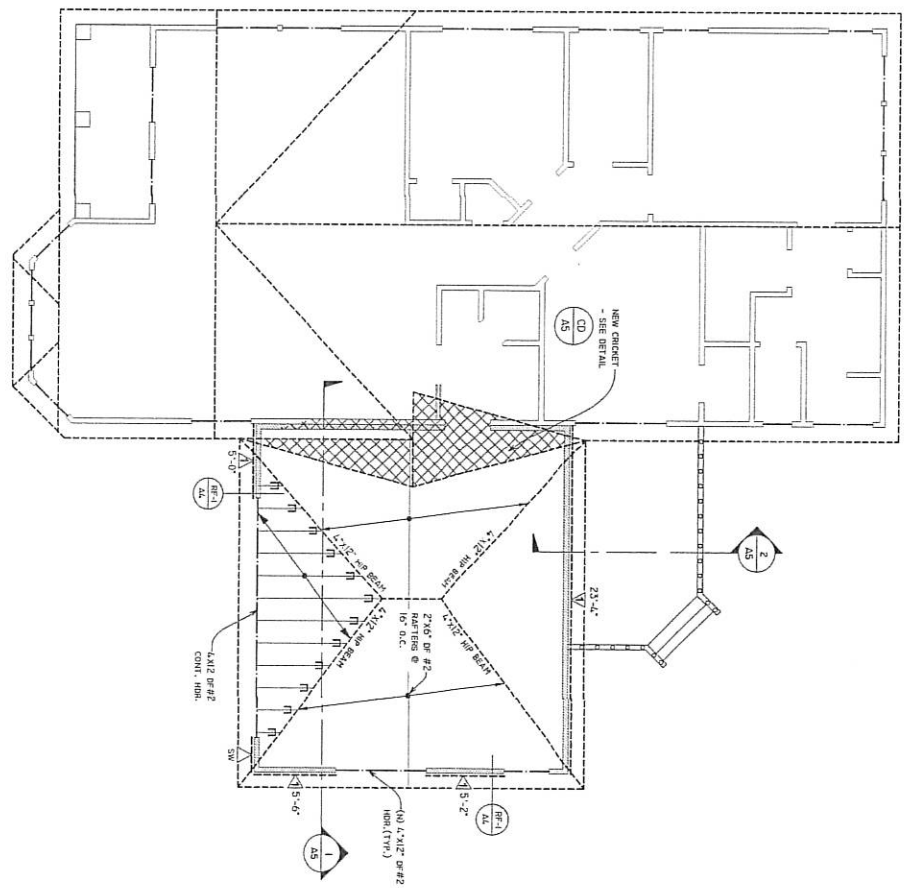
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1	RAFTER
2	CELING JOIST
3	2"x4" STUDS AT 16" O.C.
4	10/41d CORNER
5	2x BLOCKING WITH A35 CORN AT EACH BLOCK
6	6d COMMON AT 6" O.C.
7	1/2" S TIE AT EACH PARTIAL
8	EDGE WALING
9	1" OVERHANG OR MATCH EXISTING
10	2x FASCIA WITH ALUMINUM GUTTER



1	BRACED WALL PANEL (K&P PLAN)
2	3/8" CDX PLYWOOD WITH 1/2" BRIMS AT 6" O.C. EDGES 1/2" ON FIELD (EXTEND WALL PLYWOOD TO ROOF AT EXTERIOR WALLS)
3	STRONG WALL - SEE SW1

ATTIC VENTILATION TABLE	
(4) SQ. FT. = 150 SQ. FT. OF VENTILATION AREA	
EACH 16"x40" EYEBROW VENT OPENING = .89 SQ. FT.	
NEW ROOF SQ. FT. = 400	+ 3.26 SQ. FT. OF VENTS REQ'D
150	
3.26	= 3.6 VENTS
.89	
TOTAL EYEBROW VENTS REQ'D = 4	



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

RF-1

N.T.S. ROOF AT EAVE DETAIL

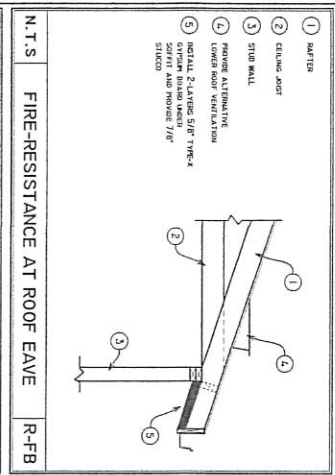
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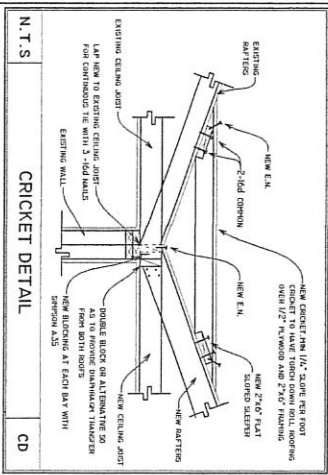
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 2 - CAR GARAGE

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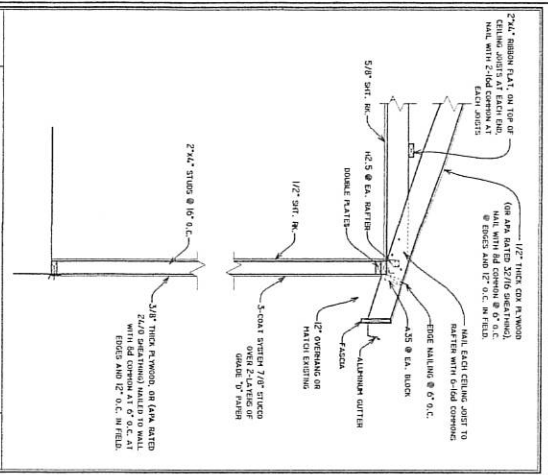
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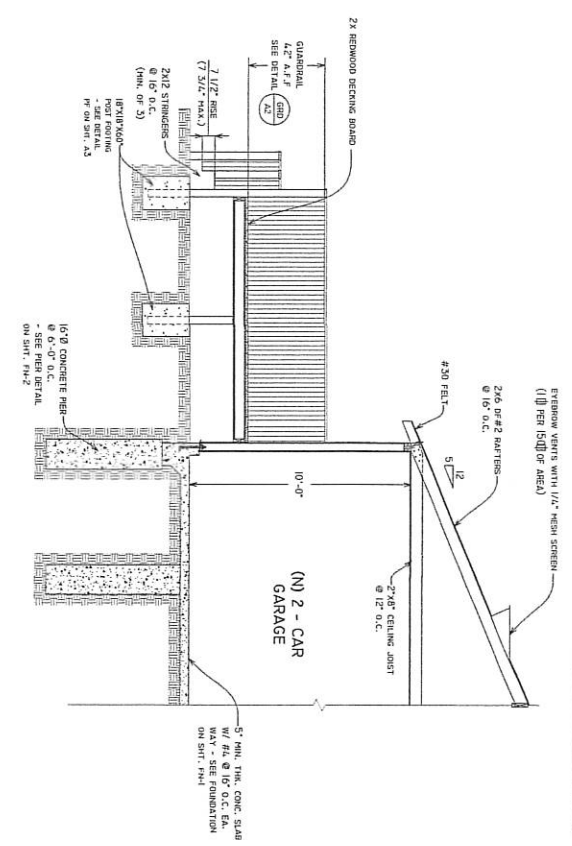
N.T.S. FIRE-RESISTANCE AT ROOF EAVE R-FB



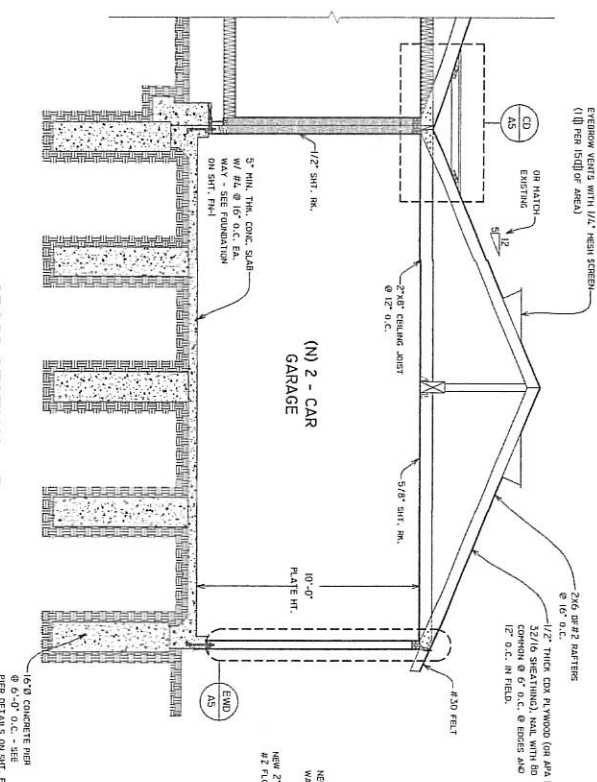
N.T.S. CRICKET DETAIL CD



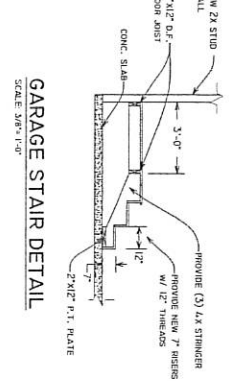
N.T.S. TYPICAL EXTERIOR WALL DETAIL EWD



CROSS SECTION 2 SCALE 3/8\"/>



CROSS SECTION 1 SCALE 3/8\"/>



GARAGE STAIR DETAIL SCALE 3/8\"/>

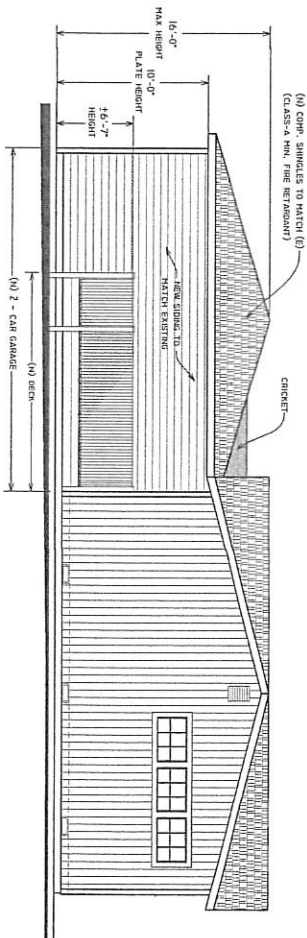
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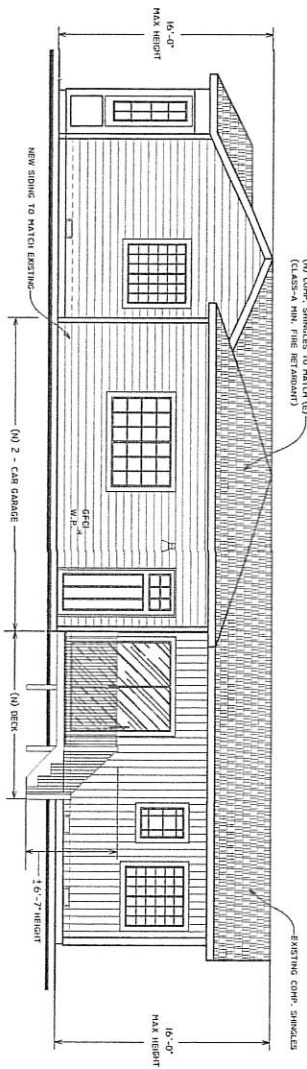
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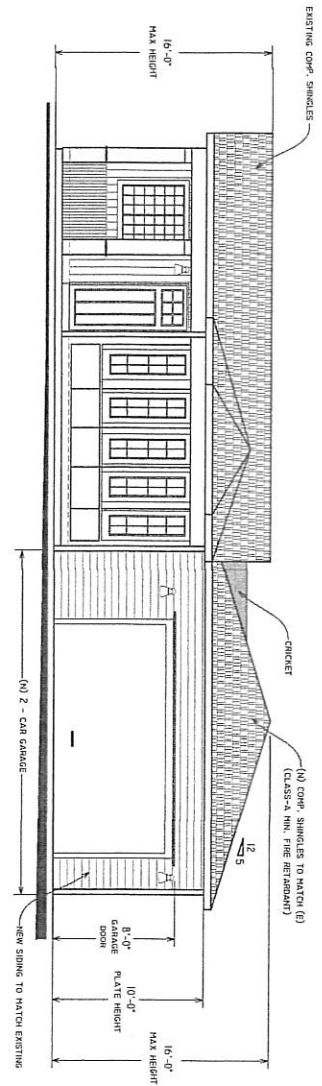
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Drawn AP
Job
Sheet AS



REAR VIEW ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT VIEW ELEVATION
SCALE: 1/4" = 1'-0"

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PROPOSED
 2 - CAR GARAGE

NO.	REVISION	DATE	BY	ISSUED FOR

Date: 12/19/15
 Scale: AS NOTED
 Drawn: AP
 Job:
 Sheet: A6

CONCRETE:

1. THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE
POURED AGAINST FORMS 2"
POURED AGAINST EARTH 3"
2. PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN. PIPES OF DUCTS EXCEEDING ONE-THIRD THE SLAB OR FOOTING THICKNESS SHALL BE PLACED IN THE STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAINED.
3. DOWELS, ANCHOR BOLTS AND OTHER EMBEDDED ITEMS ARE TO BE SECURED IN PLACE BEFORE CONCRETE IS POURED.

REINFORCING STEEL:

1. ALL BENDING OF REINFORCING STEEL SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE.
2. REINFORCING SHALL BE PLACED AND SUPPORTED IN A TRUE LINE AS SHOWN.
3. ALL REINFORCING SHALL BE CLEAN AND FREE OF EXTRANEIOUS MATERIAL.

CONCRETE

ALL CONCRETE SHALL HAVE PROPERTIES AS LISTED BELOW.
MAXIMUM WATER-CEMENT RATIO, BY WEIGHT SHALL BE 0.55.

AT CONTRACTOR'S OPTION APPROXIMATELY 4 OUNCES PER 100 POUNDS OF CEMENT OF POZZOLITH 300-R BY MASTER BUILDERS OR APPROVED EQUAL SHALL BE USED AS A WATER DISPERSING ADDITIVE. TO PROVIDE THE REQUIRED AIR CONTENT, THE CONTRACTOR MAY ADD AN AIR ENTRAINING AGENT CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATIONS C 260 TO THE CONCRETE MIX.

CONCRETE ELEMENT	MIN. 28 DAY COMPRESSIVE STRENGTH (psi)	MAX. AGGREGATE SIZE	MAX. SLUMP (INCHES)	TOTAL AIR CONTENT (%)
FOOTINGS	3000	1 1/2"	4"	--
SLABS ON GRADE (ONLY THOSE DETAILED IN THE STRUCTURAL DRAWINGS.)	2500	3/4"	3"	3-4%

MAINTAIN CONCRETE IN A MOIST CONDITION FOR A SUITABLE PERIOD AFTER PLACEMENT IN ACCORDANCE WITH ACI 301, CHAPTER 12. CEMENT SHALL BE TYPE II AND CONFORM TO ASTM C150. AGGREGATE SHALL CONFORM TO ASTM C33.

* MIX DESIGN SHALL NOT CONTAIN CHLORIDES AND SHALL BE PROPORTIONED WITH 15% FLY ASH PER WEIGHT OF CEMENTITIOUS MATERIAL. MAXIMUM WATER-CEMENT RATIO BY WEIGHT SHALL BE 0.50. SEE ALSO POST-TENSIONING NOTES THIS SHEET.

REINFORCING STEEL

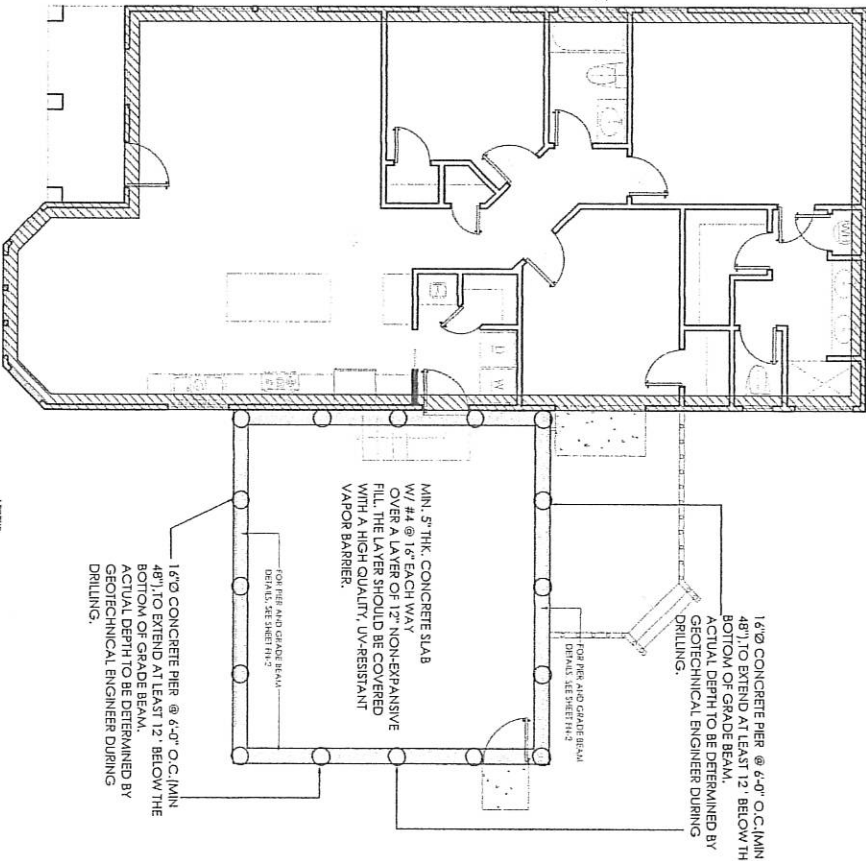
BARS FOR REINFORCING SHALL BE GRADE 60 DEFORMED BARS CONFORMING TO ASTM A615 INCLUDING SUPPLEMENT S1. WHERE REINFORCING STEEL IS SHOWN TO BE WELDED, BARS SHALL CONFORM TO ASTM 706. LAP SPICES SHALL CLASS B U.N.O. IN ACCORDANCE WITH ACI 318-11. STANDARD HOOKS SHALL BE IN ACCORDANCE WITH ACI 318-11.

FOUNDATIONS

1. ALL EXISTING FILL SOIL AND DISTURBED NATURAL SOILS ARE TO BE EXCAVATED AND REPLACED WITH PROPERLY COMPACTED FILL. ALL FILLING, BACKFILLING, RECOMPACTION, ETC. IS TO BE ACCOMPLISHED ONLY UNDER THE SUPERVISION OF A SOILS ENGINEER. COMPACTED FILL SHALL BE 95% DENSITY.
2. FOOTINGS ARE TO BE CARRIED A MINIMUM OF 18" INTO FIRM UNDISTURBED NATURAL SOIL OR APPROVED COMPACTED FILL OR PER SOILS REPORT.
3. DESIGN BEARING PRESSURE IS 2500 PSF PER SOILS REPORT WITH A 33% INCREASE FOR SEISMIC OR WIND LOADING.
4. RELATIVELY NON-EXPANSIVE FILL SHOULD BE USED IN BACKFILLING BEHIND WALLS ALL WALLS SHALL BE ADEQUATELY SHORED DURING THE BACKFILL OPERATION.

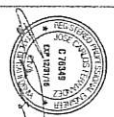
BURLESON RESIDENCE
2ND ST., MONTARA, CA

D R A W I N G I N D E X
RM-1 STRUCTURAL NOTES & DETAILS
RM-2 STRUCTURAL FOUNDATION DETAILS



LEGEND
 FINISH TO EXISTING GRADE
 EXISTING WALLS

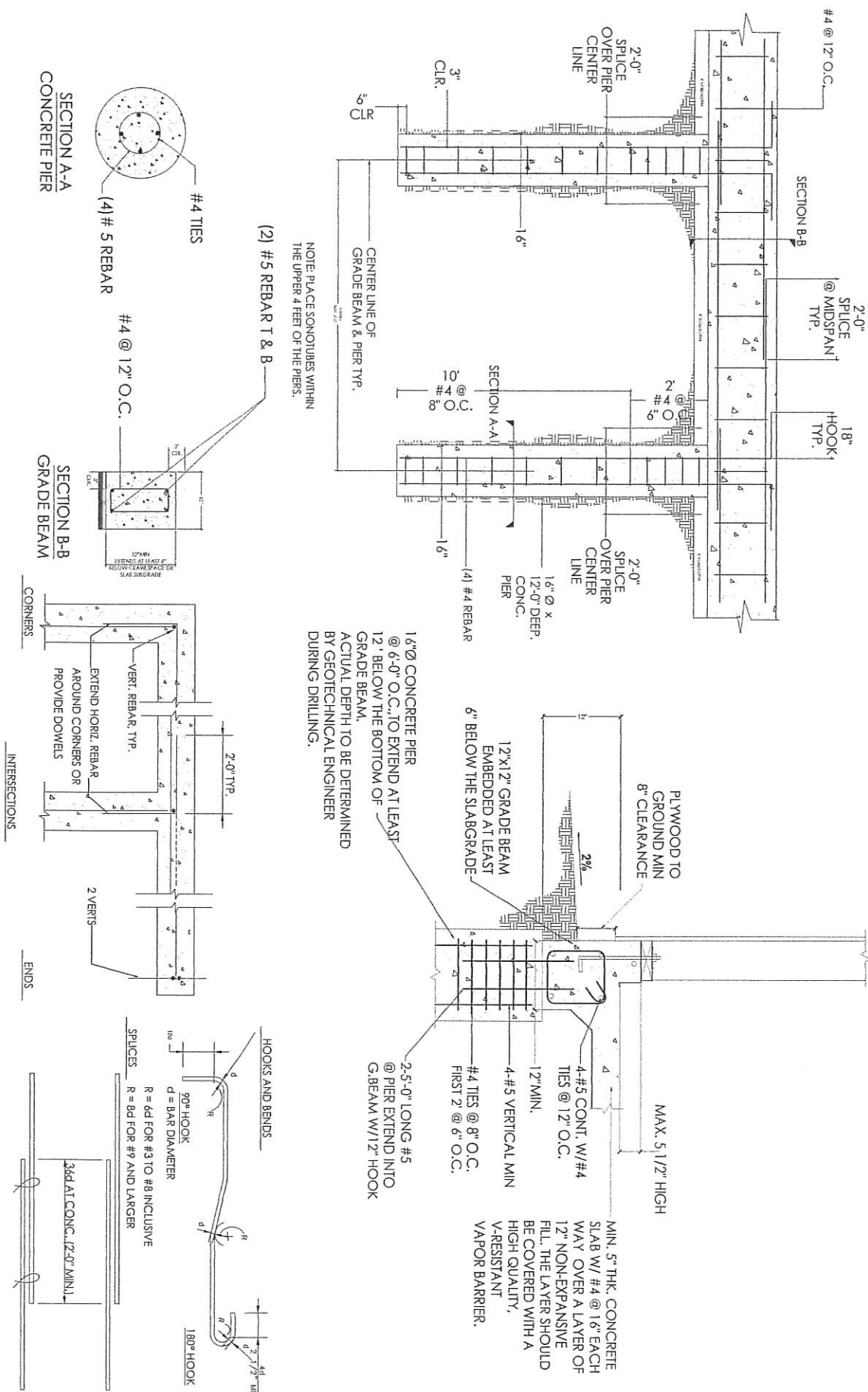
NO.	DATE	BY	REVISIONS



SHEET TITLE:
STRUCTURAL NOTES & PLAN

PROJECT:
BURLESON RESIDENCE
2ND ST., MONTARA, CA

11/13/13
 AS NOTED
FN-1



Note: The geotechnical engineer should be given at least two days' notice to observe drilling of the piers, and that the piers should only be drilled under the observation of the geotechnical engineer in order to determine the actual required pier depths.

17/5/15
AS NOTED
FN-2

BURLESON RESIDENCE
2ND ST., MONTARA, CA

SHEET TITLE:
FOUNDATION DETAIL



NO.	REVISIONS	BY

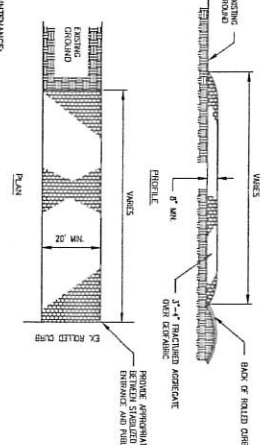
GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS INTENDED TO BE USED FOR EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR RAIL ELEVATIONS OR FOUNDATION IMPROVEMENTS.
2. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER DRAIN EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HANDLING ANY FERTILIZER, SAND, GRAVEL, STONE, DEBRIS, PAVERS OR ANY OTHER SUBSTANCE OVER ANY PROPERTY. MAINTAIN VEGETATION SHALL OCCUR.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF RUBBER WASTES, AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LOADS TO ANY STORM DRAINAGE SYSTEMS INCLUDING NEIGHBORING PROPERTIES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
7. CONTRACTOR SHALL PROVIDE DIST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERATED PRIOR TO CONSTRUCTION OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENuded EXPOSED AREAS SHALL BE PROTECTED IMMEDIATELY. FERTILIZER SHOULD BE APPLIED TO THE EROSION CONTROL PLAN WITH THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND RECOMMENDED TO THE EROSION CONTROL PLAN WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR.
2. THIS PLAN COVERS ONLY THE FIRST DRAINAGE DISTRICT, INCLUDING INTERMEDIATE FLOWLINES SHOWN ON THE SHEET.
3. CONSTRUCTION ENHANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRUCKS ENTERING ONTO THE PAVED ROADWAY MUST CROSS THE STABILIZED CONSTRUCTION ENHANCE WAYS. (ALSO INCLUDE THIS NOTE ON OTHER PLAN SHEETS)
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MID OR DEBRIS TRACKED ONTO PAVED STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
5. FERTILIZING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER MAINTENANCE ACTIONS SHALL BE UNDERTAKEN, SUCH AS EROSION CONTROL, BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) MULCH AND FERTILIZER 3) MULCH AND FERTILIZER.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN MENTS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONNECTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
7. LOTS WITH HOUSES UNDER CONSTRUCTION SHALL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL BE PROVIDED TO THE CITY ENGINEER PRIOR TO CONSTRUCTION OF THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. CONTRACTOR AND OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE CITY ENGINEER'S PLAN AT ALL TIMES.

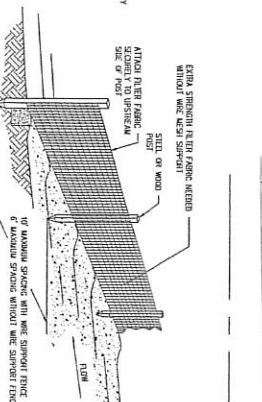
- MAINTENANCE NOTES**
1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. REMOVE RUBBER WASTES, SAND, GRAVEL, STONE, DEBRIS, PAVERS OR ANY OTHER SUBSTANCE OVER ANY PROPERTY.
 - C. SEDIMENT TRAPS, BLENDS, AND CHECK DAMS ARE TO BE MAINTAINED AT ALL TIMES.
 - D. SEDIMENT TRAPS SHALL BE REMOVED AND SEDIMENT HAVE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM PAVED SHALL BE DEPOSITED IN A STABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 2. ROCK BAY INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAY.

- HYDROSEEDING:**
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, CALIFORNIA STANDARD SPECIFICATIONS, AND ALL APPLICABLE CODES.
 2. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE VERTICALLY PLANTED WITH SPECIFICATION MATERIAL (SEEDS, FERTILIZER AND WATER, WIND AND APPLIED IN THE FOLLOWING PROPORTIONS AVAILABLE FROM MAJOR CHEMIST SUPPLIERS (GDS) 373-4471):
 - SEED 150 LB/ACRE
 - 50 LB FERTILIZER (10-20-0)
 - 150 LB/ACRE
 - 150 LB/ACRE



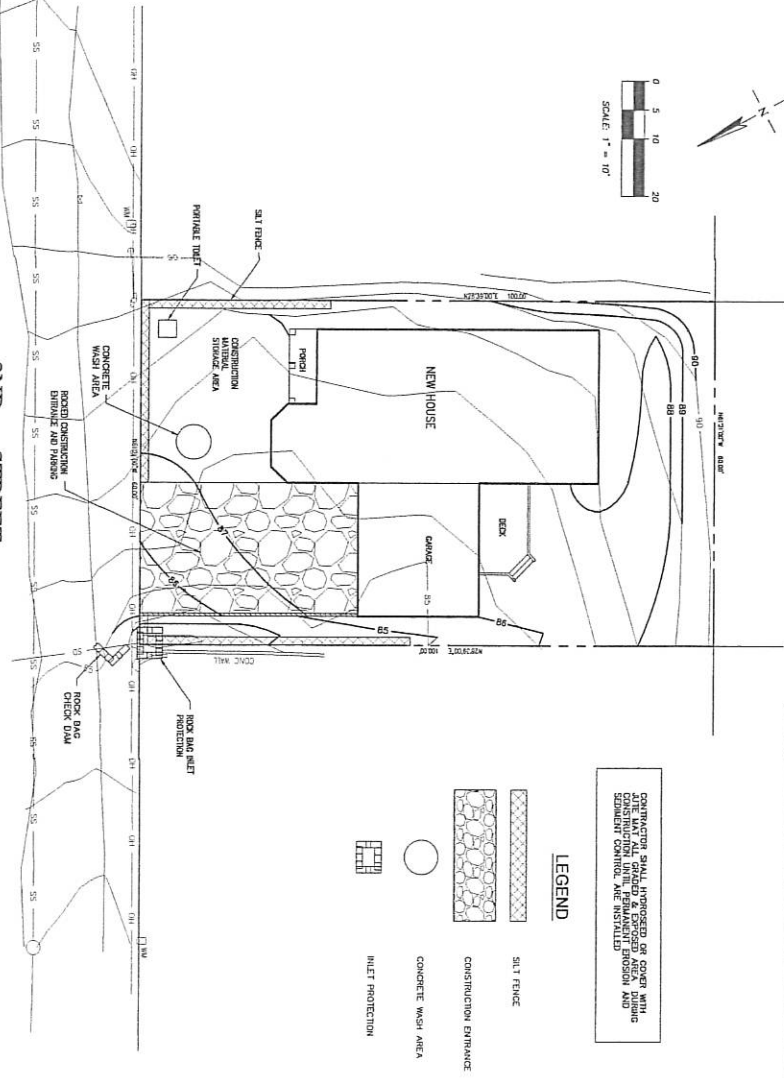
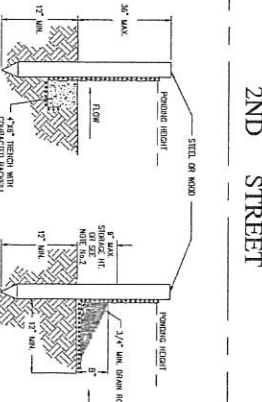
- MAINTENANCE:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT SEDIMENT OR STONE FROM ENTERING THE STORM DRAIN SYSTEM.
 2. RUBBER WASTES, SAND, GRAVEL, STONE, DEBRIS, PAVERS OR ANY OTHER SUBSTANCE OVER ANY PROPERTY SHALL BE REMOVED IMMEDIATELY.
 3. WHEN MAINTENANCE, REPAIRS SHALL BE COMPLETED TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.

STABILIZED CONSTRUCTION ENTRANCE



- NOTES:**
1. SILT FENCE SHALL BE BUILT ON A SOFT COMPACTED SUBSTRATE TO PREVENT FLOW TO MAINTAIN EROSION CONTROL.
 2. INSPECT AND REPAIR FENCE AFTER EACH SIGNIFICANT RAIN AND REMOVE SEDIMENT FROM EXCESSIVE FLOW RECOMMENDED TO PREVENT OVERFLOW.
 3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONSTITUTE SEDIMENT OFFSITE AND CAN BE REVENUE/STABILIZED.

SILT FENCE



- LEGEND**
- [Symbol] SILT FENCE
 - [Symbol] CONSTRUCTION ENTRANCE
 - [Symbol] CONCRETE WASH AREA
 - [Symbol] INLET PROTECTION
 - [Symbol] ROCK BAY INLET PROTECTION

NOTES:

CONTRACTOR SHALL HYDROSEED OR COVER WITH MULCH IMMEDIATELY AFTER CONSTRUCTION AND MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.

EROSION CONTROL PLAN

DATE: 3/18/16
 SCALE: AS SHOWN
 DESIGNED BY: [Signature]
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

NEW RESIDENCE
2ND STREET
MONTARA, CA

APN: 397-08-086 SAN MATEO COUNTY

RW ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

225 ALAMO DRIVE
 SUITE 100
 SAN MATEO, CA 94401
 (415) 222-1899
 (415) 222-5556
 www.rweng.com

DATE: 3/18/16

NO.	REVISION	DATE	BY

LEGEND

--- PROPERTY LINE
 --- CURBLINE
 --- AS
 --- UTILITY LINE-TYPE AS NOTED
 --- STREET LIGHT
 --- DATE
 --- WATER METER
 --- VALVE VALVE
 --- CURB CATCH BASIN
 --- FIRE HOBRANT
 --- MANHOLE-TYPE AS NOTED
 --- \odot CM
 --- \ominus GM
 --- POWER POLE W/ OVERHEAD WIRE
 --- BENCHMARK
 --- MONUMENT
 --- CONDUIT LINE
 --- SWALE \varnothing 12" (1.0M)
 --- SURFACE FLOW DIRECTION
 --- DOWNPOUT WITH SPUSH-BLOCK
 --- TREE-TANK DIAMETER IN INCHES
 --- \ominus 2"

ABBREVIATION

AC ASPHALT CONCRETE
 C & G CURB & GUTTER
 EX EXISTING
 DRAIN DRAIN
 DRAIN INLET DRAIN INLET
 EXISTING EXISTING
 FINISH FLOOR FINISH FLOOR
 FINISH GRADE FINISH GRADE
 FINISH SURFACE FINISH SURFACE
 FLOW LINE FLOW LINE
 FLS FINISH SURFACE
 FSN FINISH SURFACE
 FSN PUBLIC UTILITY EASMENT
 FSN POLYMER CLAY PIPING
 S/W S/W
 TYP OF CURB TYP OF CURB

LOCATION	OUT (CY)	IN (CY)	IMPORT (CY)
BRICKWAY & SITE	20	10	
HOUSE (CY)	10	40	
TOTAL	30	50	20

NOTE: DIMENSION QUANTITIES ON THIS PLAN ARE FOR INFORMATION ONLY. DIMENSIONS ON 3-D SURVEY DATA SHALL GOVERN OVER THIS PLAN.

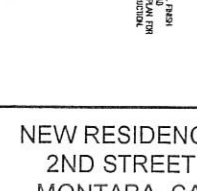
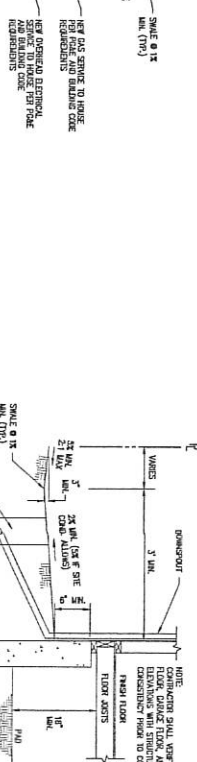
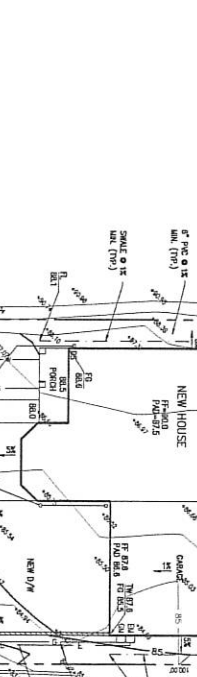
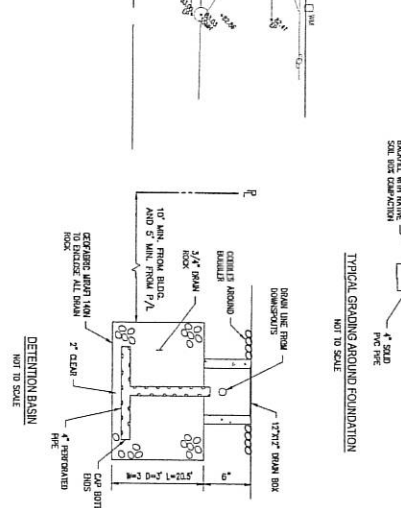
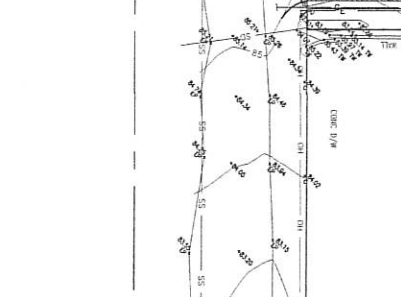
ON-SITE IMPERVIOUS AREAS:

PRE-DEVELOPMENT	POST-DEVELOPMENT
BUILDING	0 50.0 FT ²
PAVED DRIVEWAY	0 50.0 FT ²
PAVED WALKWAY	0 50.0 FT ²
TOTAL	0 50.0 FT ²

BUILDING	POST-DEVELOPMENT
BUILDING	1,005 50.0 FT ²
DRIVEWAY	807 50.0 FT ²
WALKWAY	137 50.0 FT ²
TOTAL	1,156 50.0 FT ²

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2. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES BEFORE, DURING, AND AFTER CONSTRUCTION.
3. REGRADING SHALL BE TAKEN WHEN MAINTAINING ANY EXISTING SAND, GRAVEL, STONE, PAPER OR ANY OTHER SUBSTRATE OVER ANY EXISTING PAVEMENT. REGRADING SHOULD BE TAKEN TO MATCH EXISTING FINISH TO EXISTING FINISH.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EXCESS WATER AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT STORM RUNOFF FROM BEING DIRECTED TO ANY ADJACENT PROPERTIES, WATERWAYS AND WATER RESOURCES.
6. CONSTRUCTION OPERATIONS SHALL BE CONDUCTED IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAW CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
7. THE CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
8. THIS REPORT AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE BECAUSE OF CHANGES DUE TO UNFORSEEN FIELD CONDITIONS. VARIATIONS AND ADJUSTMENTS MAY BE MADE TO THIS PLAN IN THE FIELD, NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.



GRADING NOTES:

1. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF COUNTY OF SAN MATEO STANDARDS AND SPECIFICATIONS.
2. THE OWNER AND THE ENGINEER OF WORK SHALL NOT BE RESPONSIBLE FOR ENGINEERING AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL AND MAINTAIN ALL SAFETY DEVICES, INCLUDING TRAFFIC SIGNS AND SIGNALS, AND SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE TO ALL CITY ORDINANCES, ORDINANCES, AND LOCAL ORDINANCES.
3. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL EXISTING UTILITIES, CABLES, AND OTHER SERVICES, INCLUDING GAS, WATER, AND FIBER OPTICS, AND PROVIDE PROTECTIVE MEASURES AS REQUIRED. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, CABLES, AND OTHER SERVICES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY UTILITIES, CABLES, AND OTHER SERVICES.
4. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, CABLES, AND OTHER SERVICES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY UTILITIES, CABLES, AND OTHER SERVICES.
5. THE SOIL REMOVED FROM THIS PROJECT IS A PART OF THIS PLAN. THE MOST SENSITIVE REQUIREMENTS BY SOIL CHECKER ON CONSTRUCTION ARE SHOWN ON THIS PLAN.
6. GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND REVIEWING THE SOIL REPORT FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND REVIEWING THE SOIL REPORT FOR THIS PROJECT.
7. PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR NEIGHBORHOOD CONCERNS AND TROUBLE SHOOTING. THE SOIL REPORT SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
8. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, CABLES, AND OTHER SERVICES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY UTILITIES, CABLES, AND OTHER SERVICES.
9. EXISTING MATERIAL (IF ANY) SHALL BE COMPOSED OF AN ACCEPTABLE LOCATION.
10. EXISTING MATERIAL (IF ANY) SHALL BE COMPOSED OF AN ACCEPTABLE LOCATION.
11. ALL STORM DRAIN PIPES SHALL BE A 12" MINIMUM DIAMETER AND ALL PIPES CONNECTING DOWNSPOUTS TO STORM DRAIN SHALL BE 4" MINIMUM DIAMETER.
12. THE STORM REPORT GENERATED BY THE NEW PROJECT SHALL NOT BE TAKEN INTO ACCOUNT FOR THE DESIGN STORM DRAINAGE FROM THE ADJACENT PROPERTY. THE STORM REPORT SHALL BE REVISION BY THE NEW DEVELOPER.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

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TYPICAL GRADING AROUND FOUNDATION
 NOT TO SCALE

DETERENTION BASIN
 NOT TO SCALE

GRADING AND DRAINAGE PLAN

DATE: 1/2018
 SCALE: AS NOTED
 ENGINEER: [Signature]
 C-1

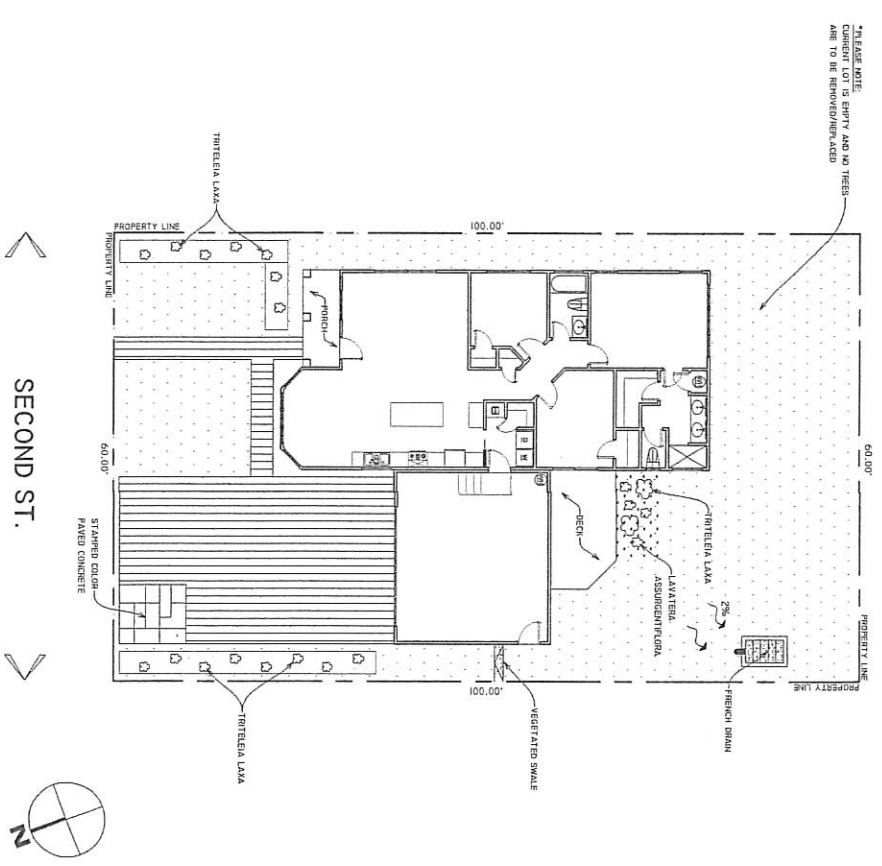
**NEW RESIDENCE
 2ND STREET
 MONTARA, CA**

APN: 397-08-086
 SAN MATEO COUNTY

RW ENGINEERING, INC.
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1555 ALTAIR DRIVE
 MILPITAS, CA 95035
 (408) 262-4242
 (408) 577-3014
 www.rwengineering.com

NO.	REVISION	DATE	BY



2% SLOPE NOTE:
CURRENT LOT IS EMPTY AND NO TREES
ARE TO BE REMOVED/REPLACED

LANDSCAPE PLAN
SCALE: 1/8"=1'-0"

- PLANT NOTES**
- ① TRITELIA LAJA
 - DROUGHT-TOLERANT: SUITABLE FOR MEDITERRANEAN
 - WATER GOING UNTIL ROOTS GROW
 - ② LAVATEA ASSURGENTIFLORA
 - DROUGHT-TOLERANT - WIND TOLERANT: SUITABLE FOR XERISCAPING
 - VEGGAGE WATER NEEDS: WATER REGULARLY, DO NOT OVER WATER
 - PLANT IN FULL SUN EXPOSURE, WILL TOLERATE SALT SWAY, WIND, AND DROUGHT

Date	3/16/18
Scale	AS NOTED
Drawn by	AP
Job	
Sheet	A

RESIDENTIAL DESIGNS
 829 S. 7th Street • San Jose, CA 95112
 Phone: (408) 292-3502 • (408) 274-3009
 gpr@residentialdesigns.com

OWNER: BURLESON RESIDENCE
 SECOND ST.
 MONTARA, CA 94037

PROPOSED
 LANDSCAPE PLAN

NO.	REVISION	DATE	BY	ISSUED FOR



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World Imports WI9002S42 Rust Dark Sky Essen 1 Light Outdoor Wall Sconce

Item #: BC12405306

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\$63.00

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Product Details for the World Imports WI9002S42 in Rust

Features:

- Cone shaped shade
- Designed to cast light in a downward direction
- Constructed of Aluminum
- Requires (1) 100 watt Medium (E26) base bulb

Lamping Technology:

- **Bulb Base - Medium (E26):** The E26 (Edison 26mm), Medium Edison Screw, is the standard bulb used in 120-Volt applications in North America. E26 is the most common bulb type and is generally interchangeable with E27 bulbs.
- **Compatible Bulb Types:** Nearly all bulb types can be found for the E26 Medium Base, options include Incandescent, Fluorescent, LED, Halogen, and Xenon / Krypton.

Specifications:

- Number of Bulbs: 1
- Bulb Base: Medium (E26)
- Bulb Type: Incandescent
- Bulb Included: No
- Watts Per Bulb: 100



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W19002S42
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1 Light Outdoor
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Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City, CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2015-00557

Other Permit #: _____

Applicant:

Name: NAILELY M. GARCIA
Address: 829 S. 7th ST.
Zip: 95112
Phone, W: 408.292.3800 H: _____
Email: gpresidential@gmail.com

Architect or Designer (if different from Applicant):

Name: GP RESIDENTIAL DESIGNS
Address: 829 S. 7th ST.
Phone, W: 408.292.3800 H: _____
Email: gpresidential@gmail.com

Owner (if different from Applicant):

Name: DIANA BURLESON & DAVID M.
Address: 1890 JUNCTION BLVD APT 2011 ROSELLE CA
Zip: 95747
Phone, W: 530.321.2558 H: _____
Email: HMB455@aol.com

Project Location:

APN: 036-013-110
Address: _____
Zip: 94037
Zoning: R-1/5-17
Parcel/lot size: _____ sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

Project:

- New Single Family Residence: _____ sq. ft.
- Addition to Residence: _____ sq. ft.
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

-NEW MANUFACTURED (HUD) BUILDING
-NEW 2-CAR GARAGE
-NEW BEAR DECK

Fill in Blanks:

Material

Color/Finish

Check if matches existing

(If different from existing, attach sample)

- a. Exterior walls CHAMPANEL FIBER CEMENT SIDING
- b. Trim SMART TRIM LP BUILDING PRODUCTS
- c. Windows SERIES 1500 FROM LKBO
- d. Doors THURMA - TRU
- e. Roof SHINGLED WITH TAMKO
- f. Chimneys -
- g. Decks & railings TRIPLEX
- h. Stairs -
- i. Retaining walls -
- j. Fences -
- k. Accessory buildings -
- l. Garage/Carport MATCH MANUFACTURED HOMIE MATERIALS

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: _____ Applicant: NAWEY GARCIA Project Manager

Date: _____ Date: _____

Design Review Application Submittal Checklist

During the Design Stage, this checklist is intended to be used by the Applicant up to the time of the submittal of a complete application to the Current Planning Staff. This checklist is used to certify Pre-application Conference Attendance and to help the Applicant compile all the materials and information required for complete application submittal. At the time of project submittal, the Applicant should bring this checklist to the Planning Counter Staff, as this checklist will be used to review the completeness of the application submittal.

DESIGN STAGE

1. DESIGN SHALL CONFORM TO APPLICABLE REGULATIONS AND STANDARDS

The following samples are enclosed in this packet to illustrate materials required for application (see application requirements):

- a. *Maximum Building Heights in Unincorporated San Mateo County*
- b. *Survey Sample*
- c. *Sample Primary Building Elevation (Guidance for Presentation of Color and Exterior Material Samples)*

Other regulations and standards are available at the Planning and Building Department's Website and at the Planning Counter:

- a. *Midcoast Design Review Standards*
- b. *Design Review (DR) Zoning District Regulations (includes Bayside DR Standards and Required Findings for Permit Approval)*
- c. *Coastside Design Review Committee (CDRC) Policies on the Story Pole Installation and Major/Minor Modifications*

2. PRE-APPLICATION CONFERENCE REQUIREMENT

Prior to finalizing the design of a project in the Design Review District and submitting an application for Design Review, the project designer (which can be the owner) must participate in a pre-application conference with a planner. The purpose of the pre-application conference is to assure that the designer and owner are aware of the design standards, expectations, and application requirements of the County prior to finalizing the design of a project. Applications which have not been signed for certification of pre-application attendance are considered incomplete and will not be accepted by the Current Planning Section. Pre-application conferences may be arranged by appointment by calling 650/363-1825.

CERTIFICATION OF CONFERENCE ATTENDANCE

On 12/7, 2015, the project designer/architect attended a pre-application conference in relation to the development project located at 2nd Street.

Planner

Pre-Application Case No. PRE 2015-00061

Notes:

Recommend: integrated roof
Additional articulation on right + rear elevations
Design features that knit together 2 buildings
Recommend collecting photos of comparable
design examples in area.

Note: Staff, please add pre-application project review notes as a parcel tag to the property.

APPLICATION STAGE

3. APPLICATION REQUIREMENTS

The following items are necessary for submittal of a complete application:

- a. Proof of owner's interest in property (copy of deed, tax bill, etc.).
- b. Completed Design Review Application Form.
- c. Owner's concurrence shall be provided if owner does not sign application.
- d. C.3 and C.6 Development Review Checklist (if project will result in 2,500 sq. ft. or more of impervious surface).
- e. Completed Environmental Information Form.
- f. Any required supplemental forms.
- g. Fees as set by resolution of the Board of Supervisors.
- h. A brief written explanation of how the design of the project conforms to the Design Review standards.
- i. Four (4) 8 1/2" x 11" color copies of exterior color/material (wall, trim, windows, accent). Include color chips from paint stores or manufacturers. Fire-rated materials are required in State Responsibility Areas (SRA) or Local Responsibility Areas (LRA). If specific materials are proposed, they must comply with this requirement.
- j. Five (5) full-scaled sets of preliminary drawings (not construction plans, minimum 18" x 24" paper size).
- k. One (1) set of 8 1/2" x 11" paper reproductions of site plan, floor plans, building elevations and cross section.

1. Coastside Design Review Districts: Electronic file of plans (prefer PDF of vector drawings) on disc.

PLAN SETS SHALL INCLUDE THE FOLLOWING INFORMATION:

SURVEYS

- o A stamped topographical and boundary survey prepared by a licensed land surveyor or a registered civil engineer (minimum scale of 1 inch = 10 feet). A stamped boundary survey is required for additions located less than 5 feet from a minimum setback line.
- o Survey(s) shall show baseline elevation datum point and its elevation as established by a licensed land surveyor or engineer. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural grade of the site or finished grade depending on the applicable zoning district; garage slab, finished first floor, peak roof elevation.

SITE PLAN (Based on Survey)

- o Information Table on Title Sheet showing: Assessor's Parcel Number/Address, Zoning District, parcel size, square footage of structures (existing and proposed), lot coverage with calculations (maximum allowed and proposed), and floor area ratio (FAR) with calculations (maximum allowed and proposed).
- o Property Lines: Clearly defined and accurate, including their respective linear lengths.
- o All existing and proposed improvements (clearly differentiated), including buildings, structures, decks, paving, fences, walls, etc. If, in the case of additions, minimum setback compliance is proposed, a focused boundary survey shall be submitted confirming the exact location of the existing and proposed addition's distance to the closest property line.
- o Dimensions of all setbacks from the structure to the property line.
- o Any easements (public and private) and utility lines. Access easement should be deducted from lot area for purposes of lot coverage and floor area ratio (FAR).
- o Existing grade and proposed grade contour lines as they relate to finished floor levels. Define grading and areas of disturbance by shading.
- o Height and location of all existing and new fences and walls.
- o Location and type of new and existing utility lines (this may be provided on a separate Utility Plan).
- o Tree Plan showing:
 - ◇ Bayside DR Districts (Emerald Lake Hills, Palomar Park, Devonshire): All existing trees 6" in diameter or 19" in circumference (significant trees). Number trees on plans and identify species/type.
 - ◇ Outside of Bayside DR Districts: All existing trees 12" in diameter or 38" in circumference (significant trees). Number trees on plans and identify species/type.

- ◇ Trees to be removed, as marked with an "X." List type and size here or attach a list:

- ◇ An arborist report is required for trees proposed for removal on the basis of poor health, potential hazard, or when a tree is proposed to remain and within 5 feet of proposed structure.
- New houses in Emerald Lake Hills: The location of two (2) guest parking stalls is required. Guest parking stalls are recommended elsewhere. If the garage/carport is located less than 20 feet from front property line, site plan shall be expanded to show how guest parking will be accommodated on- and/or off-site to the satisfaction of the Department of Public Works.

BUILDING ELEVATIONS

- Minimum scale of 1/4 inch = 1 foot.
- Natural grade clearly indicated on elevation plans in relation to all exterior walls.
- Building heights (in feet with benchmark as the base reference) of all elevations, including garage, first floor and roof ridgelines.
- Front, sides, and rear building elevations: In cases of additions/alterations to existing buildings, the existing and proposed development shall be clearly differentiated.
- Show decks, exterior lights, and other structures or fixtures.
- Daylight Planes.
- Identify type of roof and exterior materials to be used. Include manufacturer's brochure, if available. Fire-rated materials are required in fire hazard severity zones (a list of approved materials is available at the Planning Counter).

FLOOR PLANS

- Show dimensions and floor area calculations of each floor.
- In cases of additions/alterations to existing buildings, the existing and proposed development shall be clearly differentiated.

- BUILDING CROSS SECTION:** Short and long cross sections showing maximum height, with elevation callouts of first floor, finished grade, and ridge height. Elevation callouts shall be consistent with the datum point provided on survey.

GRADING PLAN:

- Include amounts of cut and fill in cubic yards. Total = Cut + Fill.
- A soils report is required for grading permits. See Grading Regulations.

- ROOF PLAN:** Include ridgeline elevations.

ACCESS AND DRAINAGE PLANS (Required by the Department of Public Works):

- Driveway profile (stipulating driveway slope), from centerline of roadway to garage slab: Minimum 20-foot wide access from the public road and driveway profile with a maximum slope of 20%.
- Site Distance Study by civil engineer (required on a case-by-case basis).
- Drainage Plans.

ADDITIONAL SUBMITTAL REQUIREMENTS:

- LIGHTING:**
 - o Exterior lighting shall be minimized and designed with a specific activity in mind so that outdoor areas will be illuminated no more than necessary to support the activity designed for that area.
 - o Include manufacturer's brochure(s) of all exterior light fixtures: Exterior lighting should be subdued and indirect, and glaring fixtures should be avoided. Low-level lighting directed at the ground is preferred.
- LANDSCAPE PLAN:**
 - o Landscape/tree replacement plan, including the location, size and type of replacement trees to be planted. (Removal of any significant tree shall be replaced at a 1:1 ratio on the Coastside and up to 3:1 in the Bayside Design Review Districts.)
 - o Coastside Design Review Districts: All landscaping shall be drought-tolerant, and either native or non-invasive plant species. This requirement does not apply to fruit or vegetable gardens. Landscape plans shall include provisions for watering plants as needed to ensure initial plant growth. Plantings appropriate for the coastal climate should be selected. Placement of landscaping shall present a natural appearance (e.g., avoid linear configurations) and provide a smooth transition between development and open areas (e.g., planting of various heights).

PROJECT NOTICING STAGE (10 DAYS PRIOR TO HEARING)

4. NOTICING REQUIREMENTS

Applicant will be mailed a "NOTICE OF DESIGN REVIEW" cards which SHALL be posted on your parcel, visible from the street beginning ten (10) calendar days prior to and remaining posted through the date of your confirmed Design Review Committee hearing.

Please indicate party responsible for posting the sign here: _____

5. STORY POLES

Story Poles are required for Coastside projects. See "*Coastside Design Review Committee (CDRC) Policies on the Story Pole Installation and Major/Minor Modifications,*" which outlines story pole requirements.

Frm00433(DR Checklist).docx (2/4/15)

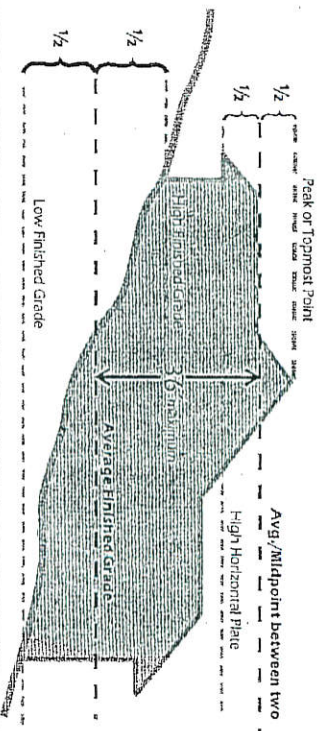
San Mateo County Planning & Building Department

Maximum Building Heights in Unincorporated San Mateo County

Heights Verification, per County procedures, is required for all homes, designed within 2 feet of the maximum height limit, and is required for all homes in Design Review Districts, regardless of proposed height. See Planner for additional information.

NOTE: All elevation exhibits shown below are intended only as examples to illustrate how height is generally calculated for the cited zoning districts; height compliance confirmation is applicable to all elevation plans (critical with variable topography). Always refer to the respective building height regulations for the applicable zoning district.

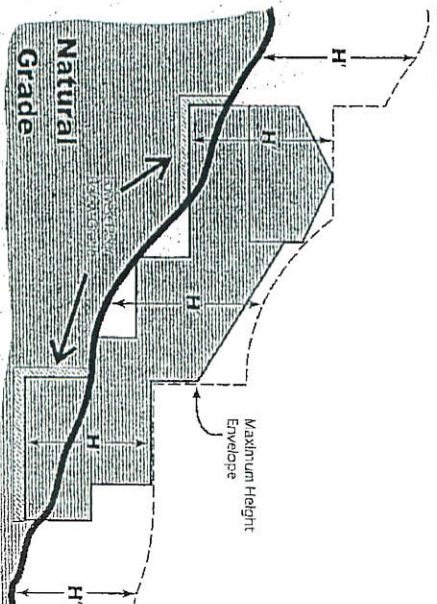
Zoning/Combining Districts: S-1 thru S-11, S-81, S-83, SS-103, S-108, RM RM-CZ, TPZ, TPZ-CZ, PAD:
35 ft./36 ft. Height Limit
 (Average Finished Grade to Average Roofline)



Zoning/Combining Districts: S-71, S-91, S-102, RH

28 ft. to 30 ft. Height Limit

(Natural Grade² or lowest floor below grade) to topmost point of the building immediately above).



Zoning/Combining Districts: S-17, S-50, S-72 thru S-74, S-82, S-90, S-92 thru S-94, S-100, S-105

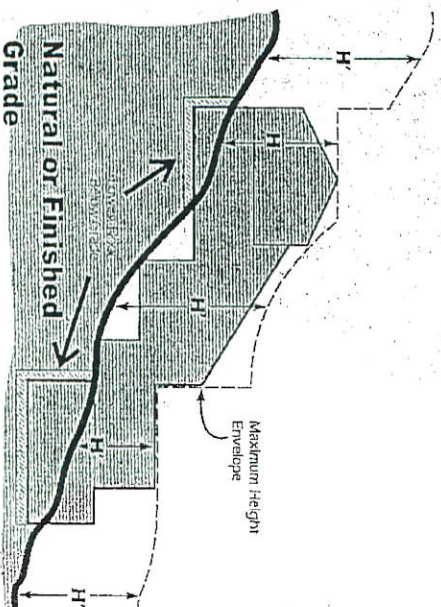
(Natural Grade² to topmost point of building immediately above).

28 ft. to 33 ft. Height Limit

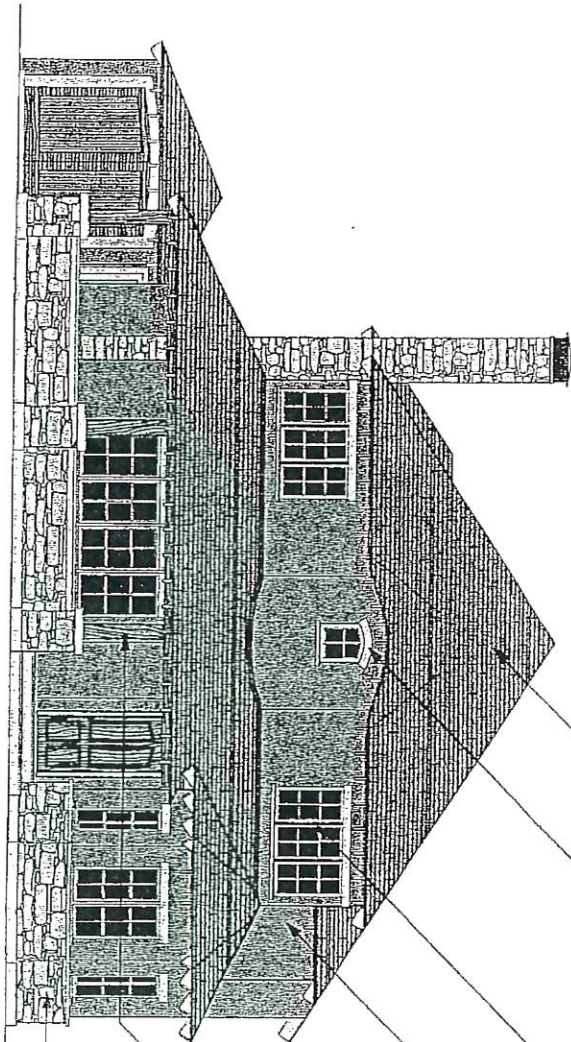
Zoning/Combining Districts: S-95, S-101, S-104, S-106, S-110

(Natural Grade² or Finished Grade¹ to topmost point of building immediately above, whichever is lower).

28 ft. to 30 ft. Height Limit



¹ Finished Grade (pursuant to sec. 6102.14) is defined as the topographic contours which result after completion of construction on the site. Average finished grade is the average level of the finished grade adjacent to building walls. The outer edges of projecting decks & balconies shall not be counted as "walls" if they are unenclosed below (supporting posts OK) & uncovered above. The average grade shall be calculated by topographic elevations noted at all building wall corners, noted both on the site plan & corresponding elevation plans.
² Natural Grade is defined as the topographic contours which exist prior to any disturbance related to construction on the site.



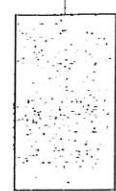
ROOFING: Asphalt composition shingles
Elk Prestique II: Weathered wood color



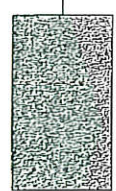
EXTERIOR TRIM: Painted wood
Kelly Moore "Graystone" KM-230



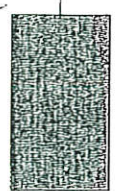
WINDOWS: Painted wood sash casements
Kolbe/Kolbe Heritage series: Kelly Moore "Graystone" KM-230



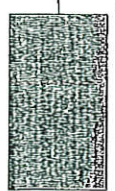
EXTERIOR WALLS: Cement Plaster-smooth finish
Western Blended Products, Sacramento Succo - "Prairie Sage" #1017



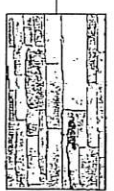
GARAGE DOORS: Natural wood roll-up doors
Douglas Fir rich top door - Clear polyurethane finish



PORCH POSTS: Natural wood
12x12 Douglas Fir #1-Vinco natural linseed oil finish



CHIMNEY/MASONRY BASE: Natural stone veneers
Boquet Canyon Ledgestone Peninsula Building Materials



SAMPLE PRIMARY BUILDING ELEVATION: Project Location

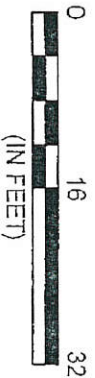
ABC Architects, Any Town, CA (650) 123-4567

The colors and materials represented here have been approved by the San Mateo County Design Review Board. Please call (650) 363-4761 with any questions, comments, or concerns. This is project #2003-0001. (psdcdesign review colors (dark wood).psd 7-12-04 ss)

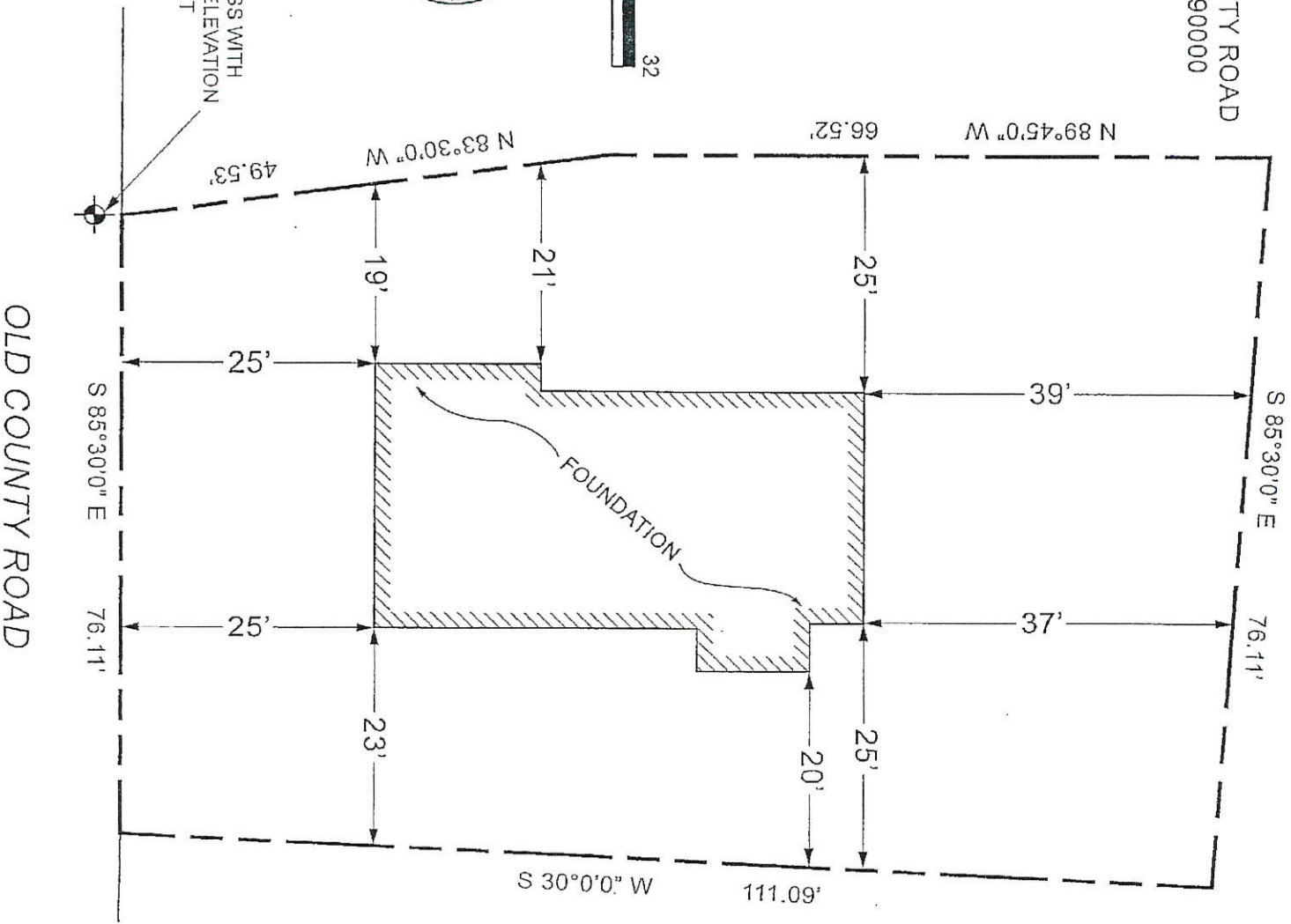
SURVEY SAMPLE

PROJECT SITE
 12345 OLD COUNTY ROAD
 ANYWHERE, CA 90000

APN
 100-010-001



SCRIBED CROSS WITH
 AN ASSUMED ELEVATION
 OF 100.00 FEET



OLD COUNTY ROAD

COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT

Survey Requirements
(For: Survey Professionals)

Project Address: _____

Assessor's Parcel Number: _____

The front of this property for survey purposes is: _____

A Survey is always required for new construction within 5 feet of a required setback. For other cases of when a Survey is required, please contact Planning and Building staff.

The minimal information needed on a Site Planning Survey varies depending on the project. Below is to help define the minimal information needed by the Planning and Building Department based on the type of project proposed, and can be passed to the appropriate licensed professional for clarification.

REQUIRED		
Yes	No	PROPERTY LINES
		Front
		Rear
		Right Side
		Left Side
		Other
		EXISTING DEVELOPMENT – A minimum of 2 dimensions must be clearly indicated from each property line required above to the nearest existing development.
		Residence: <input type="checkbox"/> front wall <input type="checkbox"/> rear wall <input type="checkbox"/> right wall <input type="checkbox"/> left wall <input type="checkbox"/> other
		Detached accessory building (garage, carport, storage shed, playhouse, other): <input type="checkbox"/> front wall <input type="checkbox"/> rear wall <input type="checkbox"/> right wall <input type="checkbox"/> left wall <input type="checkbox"/> other
		Detached accessory structure (gazebo, trellis, fence, retaining wall, play structure, swimming pool, other).
		Driveways, paved areas (e.g. patios, parking areas).
		Well and/or septic system.
		NATURAL ENVIRONMENT
		Trees (≥ 6" d.b.h. in Emerald Lake Hills area or > 12" d.b.h. in any residential zoning district), show actual diameter at breast height and drip-line.
		Waterways
		Topographical contours, extent of topographical contours on-site.
		OTHER
		Benchmark with elevation identified (for height verification purposes). See Height Verification Handout for further details.

Please contact the San Mateo County Planning Department at 650/363-1825 with questions.

SS3:pac - FRM00498.doc (12/2/11)

Environmental Information Disclosure Form

PLN _____
 BLD _____

Project Address: SECOND ST
MONTARA CA.
 Assessor's Parcel No.: 036 - 013 - 110
 Zoning District: R-1/S-17

Name of Owner: DIANA BUBLESON & DAVID M.
 Address: 1890 JUNCTION BLV. APT. 2011
ROSEVILLE, CA 95749 Phone: 530-321-2558
 Name of Applicant: NAILEY M. GARCIA
 Address: 829 S. 7th ST.
SAN JOSE CA 95112 Phone: 408.292.3800

Existing Site Conditions

Parcel size: 6,000 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). VACANT LOT

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>500</u> c.y. Fill: <u>-0-</u> c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of <u>10,000 sq. ft.</u> or more of impervious surface? If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	<input checked="" type="checkbox"/>	b. Land disturbance of <u>1 acre</u> or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

CERTIFICATION

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: Melley G. Date: 12/15/2015.
 (Applicant may sign)