

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,256 

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

August 24, 2018

Jane and Patrick Hillhouse
207 Palma St
El Granada, CA 94018

Dear Mr. and Mrs. Hillhouse:

SUBJECT: Coastside Design Review
207 Palma Street, El Granada
APN 047-126-290; County File No. PLN 2018-00060

At its meeting of August 9, 2018, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a Design Review Permit to allow construction of a new 2-story 2,279 sq. ft. single-family residence with a 429 sq. ft. attached 2-car garage and a 730 sq. ft. Second Unit (currently the main house) with a 272 sq. ft. attached 1-car garage on an 8,044 sq. ft. legal parcel (per Merger: PLN 2017-00235). No tree removal and only minor grading is proposed. The second dwelling unit is a ministerial project that does not require review by the CDRC. The proposed second unit is 30 sq. ft. over the allowed floor area for an attached second unit and will be corrected prior to Building Permit approval.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the Local Coastal Program and "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

1. From the Local Coastal Program:

Policy 3.22(b). Second Dwelling Units in R-1 Zoning Districts. The applicant must reduce the floor area of the second unit by approximately 30 square feet. The size of the second unit is limited to 700 sq. ft. or 35% of the floor area of the principal residence, whichever is greater.

2. From the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" Manual

- a. *Section 6565.20(C). Site Planning and Structure Placement; 1. Complement Other Structures in the Neighborhood; a. Privacy and b. Views.* Revise the design and layout of the house to minimize and mitigate the loss of view and daylight for neighbors while also ensuring privacy for the home and neighboring homes.



- b. *Section 6565.20(D). Elements of Design; 1. Building Mass, Shape, and Scale.* Revise the design and layout of the house to reduce massing and scale.
 - c. *Section 6565.20(D). Elements of Design; 1. Building Mass, Shape, and Scale; a. Relationship to existing topography.* The proposed structure does not adequately step down with the existing grade. Step the house down the gradient of the lot in the same direction as the existing grade.
 - d. *Section 6565.20(D). Elements of Design; 3. Roof Design.* Lower the roof plates and peaks and choose roof forms that minimize mass.
 - e. *Section 6565.20(D). Elements of Design; 4. Exterior Materials and Colors.* Add colors and materials that will help reduce apparent mass.
3. Recommendations Discussed Include:
- a. Design a single-story home.
 - b. Reorient the footprint of the house so that the long dimensions of the house parallel Palma Street instead of paralleling Valencia Street.
 - c. Excavate a section of the lot and blend the house into the site.
 - d. Increase the second-story setbacks; move the second story to the middle of the building footprint.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Ruemel Panglao, Project Planner, at 650/363-4825, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,

A handwritten signature in black ink that reads "Dennis P. Aguirre for D.A.". The signature is written in a cursive, flowing style.

Dennis P. Aguirre
Design Review Officer

DPA:RSP:jvp – RSPCC0414_WVN.DOCX

cc: Stuart Grunow, Member Architect
Bruce Chan, Member Landscape Architect
Kayleen Kostuik, Alternate Member Architect
Christopher Johnson, El Granada Community Representative
Doug Machado, Alternate El Granada Community Representative
Beverley Williams, Interested Member of the Public
Katherine Kelly, Interested Member of the Public
John Henry, Interested Member of the Public
Steve Peterson, Interested Member of the Public
Nino Perrone, Interested Member of the Public
Khalid Usman, Interested Member of the Public

Envelopes/Email:

Stuart Grunow, Member Architect

Bruce Chan, Member Landscape Architect

Kayleen Kostuik, Alternate Member Architect

Christopher Johnson, El Granada Community Representative

Doug Machado, Alternate El Granada Community Representative

Beverley Williams,
Interested Member of the Public
230 Valencia Avenue
El Granada, CA 94019

Katherine Kelly
Interested Member of the Public
P.O. Box 182
Half Moon Bay, CA 94019

John Henry
Interested Member of the Public
P.O. Box 1424, El Granada, CA 94018

Steve Peterson,
Interested Member of the Public
P.O. Box 620865, Woodside, CA 94062

Nino Perrone,
Interested Member of the Public
70 Palomar Oaks Ln, Redwood City, CA 94062

Khalid Usman,
Interested Member of the Public
262 Valencia Avenue, El Granada, CA 94078

AS OF JANUARY 1, 2016
 CALIFORNIA BUILDING CODE 2016 EDITION
 CALIFORNIA PLUMBING CODE 2016 EDITION (CPC)
 CALIFORNIA ELECTRICAL CODE 2016 EDITION (CEC)
 CALIFORNIA MECHANICAL CODE 2016 EDITION (CMC)
 CALIFORNIA ENERGY CODE 2016 EDITION (CEnergyC)
 CALIFORNIA RESIDENTIAL CODE 2016 EDITION (CRC)
 CALGREEN CODE

ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REGULATIONS

GENERAL NOTES

- ALL CONSTRUCTION WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA ELECTRICAL CODE (CEC), 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (BEEES).
- STORM WATER RUN OFF SHALL NOT DRAIN ONTO THE ADJACENT PROPERTY, AND SHALL DRAIN AWAY FROM BUILDING FOUNDATION TO AN UNPAVED AREA.
- BEDROOM WINDOWS FOR EMERGENCY ESCAPE AND RESCUE SHALL HAVE A FINISHED SILL HEIGHT OF NOT BE MORE THAN 44" ABOVE THE FLOOR.
- ANY WINDOW AT THE STAIRWAY LANDINGS OR WITHIN 5 FEET OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE SHALL BE SAFETY GLASS.
- THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION. HANDRAIL SHALL HAVE A SMOOTH SURFACE WITH NO SHARP EDGES. ENDS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
- SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE.
- INTERIOR FINISH MATERIAL OF THE SHOWER STALL WALL EXTENDS TO A HT. OF NOT LESS THAN 12" ABOVE THE DRAIN INLET.
- ALL RECEPTACLES, LIGHTING CIRCUITS, SWITCHES, AND HARD-WIRED SMOKE DETECTORS INSTALLED IN BEDROOMS SHALL BE PROTECTED WITH AN ARC FAULT CIRCUIT INTERRUPTER.
- NFRC TEMPORARY LABELING ON NEW WINDOWS AND EXTERIOR DOORS SHALL NOT BE REMOVED UNTIL INSPECTED BY ENFORCEMENT AGENCY.
- PROVIDE MINIMUM 26 GAUGE, GALVANIZED SHEET METAL HEATING SUPPLY DUCTS BETWEEN THE GARAGE AND RESIDENCE OR PROVIDE FIRE DAMPERS.
- PROVIDE A MINIMUM OF 6'-8" HEADROOM CLEARANCE FOR THE INTERIOR STAIRWAY.
- ALL RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILING SHALL BE INSULATION COVER AND AIR TIGHT RATED.
- ALL EXTERIOR LIGHTING FIXTURES SHALL BE HIGH-EFFICACY (FLUORESCENT).
- WATER HEATER SHALL BE WRAPPED WITH R-12 INSULATION, UNLESS EFFICIENCY RATED AT 98% OR BETTER.
- PROVIDE 1" INSULATION ON FIRST 5' LENGTH OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK.
- INSULATE ALL HOT WATER PIPES 3/4" OR GREATER IN DIAMETER, FROM THE WATER HEATER TO THE KITCHEN FIXTURES.
- PROVIDE A SETBACK THERMOSTAT FOR THE NEW FURNACE.
- INSULATE NEW HEATING DUCTS TO R-8 IF MORE THAN 40' OF NEW DUCTS ARE INSTALLED IN UNCONDITIONED SPACE.
- MAIN SERVICE DISCONNECTING MEANS AND METER SHALL BE READILY ACCESSIBLE FROM OUTSIDE OF THE BUILDING.
- METER AND PANEL SHALL BE SCREENED FROM PUBLIC VIEW BY AN ENCLOSURE.
- PROVIDE TWO 20-AMP BRANCH CIRCUITS FOR KITCHEN WHICH SHALL HAVE NO OTHER RECEPTACLES OR LIGHTS CONNECTED TO THAT BRANCH CIRCUIT.
- PROVIDE A DEDICATED 20-AMP CIRCUIT FOR THE BATHROOM RECEPTACLES.
- A FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE INSTALLED. SEE LI.
- WATER METERS SHALL BE LOCATED IN LANDSCAPED AREAS ONLY. NO WATER METERS SHALL BE LOCATED IN SIDEWALKS OR DRIVEWAYS.
- CLEANOUT SHALL BE LOCATED 18 TO 24 INCHES FROM THE BUILDING FOUNDATION.
- FLASHING SHALL BE INSTALLED AS PER CBC 1405.3 AT ALL EXTERIOR WALLS, OPENINGS FOR DOORS AND WINDOWS AND AT INTERSECTIONS WITH OTHER BUILDING COMPONENTS.
- CLOTHES WASHERS AND DISHWASHERS SHOULD BE "IE" CERTIFIED.
- ALL CONDITIONS OF APPROVAL FOR THIS PROJECT MUST BE MET WHETHER SHOWN ON THE PLANS OR NOT. THESE CONDITIONS OF APPROVAL ARE A PART OF THESE PLANS AND ARE AVAILABLE UPON REQUEST FROM THE BUILDING OWNER, THE DESIGNER OR THE COUNTY OF SAN FRANCISCO.

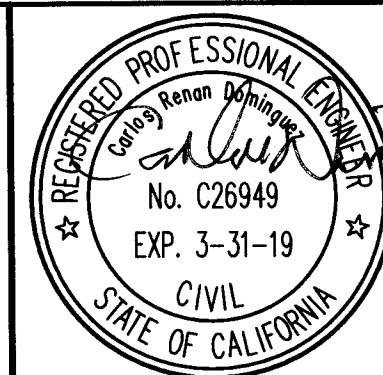
DRAWING INDEX

- ARCHITECTURAL
- A1 THIS SHEET
 - A2 NEW SITE PLAN & NEW ROOF PLAN
 - A3 EXISTING & NEW FIRST FLOOR PLAN
 - A4 NEW SECOND FLOOR PLAN & FLOOR AREA CALCULATIONS
 - A5 ELEVATIONS
 - A6 ELEVATIONS
 - A7 SECTIONS & BMP
 - C1 EXISTING TOPOGRAPHY MAP
 - C2 DRAINAGE PLAN
 - C3 EROSION PLAN
 - L1 LANDSCAPING PLAN

RECEIVED

SEP 10 2018
 San Mateo County
 Planning Division

PLN2018-00060



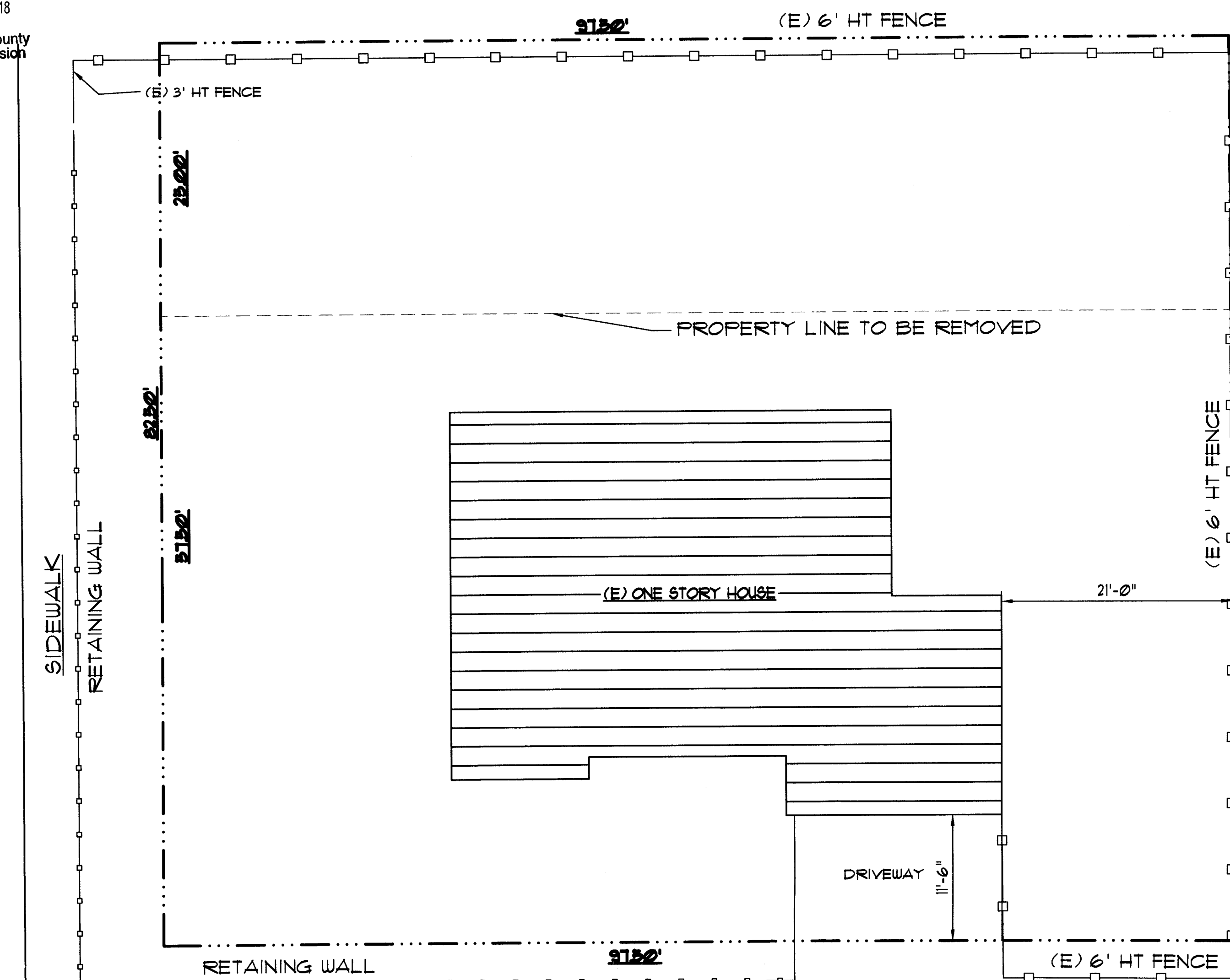
SITE DATA

LOT AREA	8044 SQFT		
	ADU	MAIN UNIT	TOTAL PROPOSED
HABITABLE LIVING AREA	800 SQFT	2279.07 SQFT	3079.07 SQFT
NON-HABITABLE LIVING AREA (GARAGE)	272.22 SQFT	429 SQFT	701.22 SQFT
NUMBER OF BEDROOMS	1	3	4
NUMBER OF PARKING SPACES (COVERED)	1	2	3
	ADU	MAIN UNIT	TOTAL PROPOSED
FLOOR AREA	10712.22 SQFT	2708.07 SQFT	3780.29 SQFT
MAX FLOOR AREA RATION (FAR)			4263 SQFT 53%
TOTAL LOT COVERAGE			2736.4696 SQFT 34%
ZONING			R-1, S-17, DR, CD
APN #:	047126290 + 047126250		
IMPERVIOUS SURFACE UNDER 10" EXISTING DRIVEWAY			282 SQFT
IMPERVIOUS SURFACE UNDER 10" NEW DRIVEWAY			360 SQFT

CALGREEN NOTES

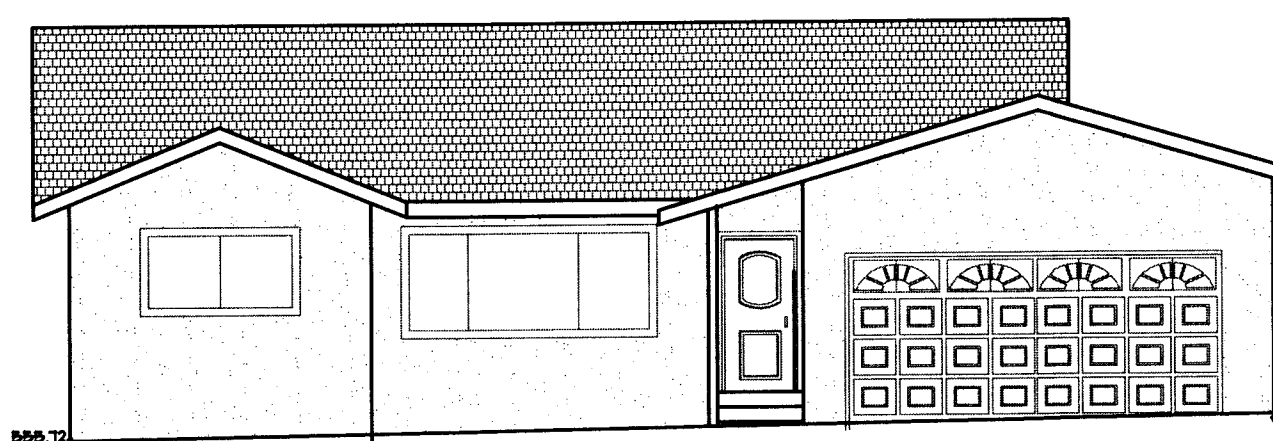
- DIVERT AT LEAST 65% OF ALL CONSTRUCTION DEBRIS AND WASTE TO A RECYCLING OR SALVAGE FACILITY AS PER CALGREEN SEC. A4.408.1
- KEEP SURFACE RUNOFF AWAY FROM BUILDINGS AS PER SHEET C1.
- PROVIDE A FILTER FABRIC AT ALL CATCH BASINS ON SHEET C1 FOR DURATION OF THE CONSTRUCTION.
- PROVIDE A COPY OF ALL OPERATIONAL AND MAINTENANCE MANUALS TO THE BUILDING OCCUPANT.
- THE AUTOMATIC IRRIGATION SPRINKLER SYSTEM MUST BE WEATHER BASED.
- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
- COVER ALL DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION SYSTEMS DURING CONSTRUCTION.
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
- PAINT STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS. VERIFICATION VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
- MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN SEC 4.504.4
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD FLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 4.505.2 AND CRC R506.2.3. SEE SOILS REPORT
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.
- PROVIDE INSULATED LOUVERS/COVER (MIN 4.2) WHICH CLOSE WHEN THE FAN IS 1/2 OFF FOR THE WHOLE HOUSE EXHAUST FANS.
- INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% BY USING WATER SAVING FIXTURES. THE MAXIMUM FLOWRATE AT A KITCHEN SINK FAUCET SHALL NOT BE GREATER THAN 1.5 GALLONS PER MINUTE AT 60 PSI. IN ADDITION TO THE KITCHEN FAUCET REQ'S FOR TIER 1, DISHWASHERS IN TIER 2 BUILDINGS SHALL BE ENERGY STAR QUALIFIED AND NOT USE MORE THAN 5.8 GALLONS OF WATER PER CYCLE SEE TABLE 4.303.1 ON S3.
- ALL WOOD PRODUCTS & CARBOARD PRODUCTS WILL BE RECYCLED, ALL OTHER WASTE WILL BE TRASHED.
- ALL RECYCLED MATERIALS WILL BE SORTED ON SITE.
- ALL RECYCLED MATERIALS WILL BE SENT TO BFI.
- TO REDUCED THE AMOUNT OF DEBRIS WORKERS SHALL FOLLOW THE CAL-GREEN GUIDELINES AND GOOD CONSTRUCTION PRACTICES.
- MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT.
- PROVIDE DOCUMENTATIONS & RECEIPTS SHOWING COMPLIANCE WITH RECYCLED MATERIALS AND DEBRIS.
- VERIFICATION OF COMPLIANCE FOR POLLUTANT CONTROL WILL BE PROVIDED BY INCLUDING MANUFACTURER'S PRODUCT SPECS OR FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.
- DIRECT ROOF RUNOFF INTO FOUR WATER ROCK FORMED BARRELS LOCATED AT FRONT OF HOUSE AND REAR. USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.

VALENCIA AVE



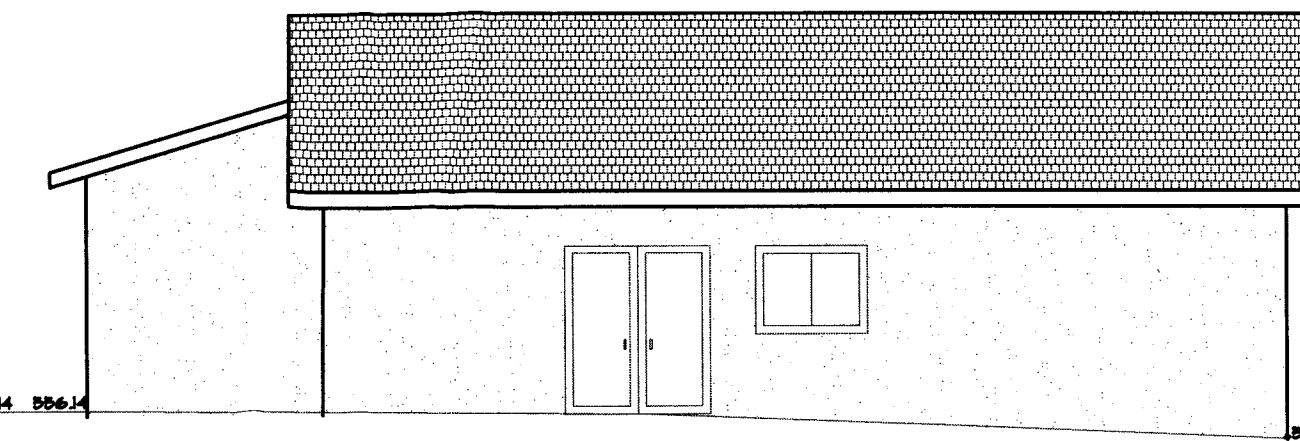
EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



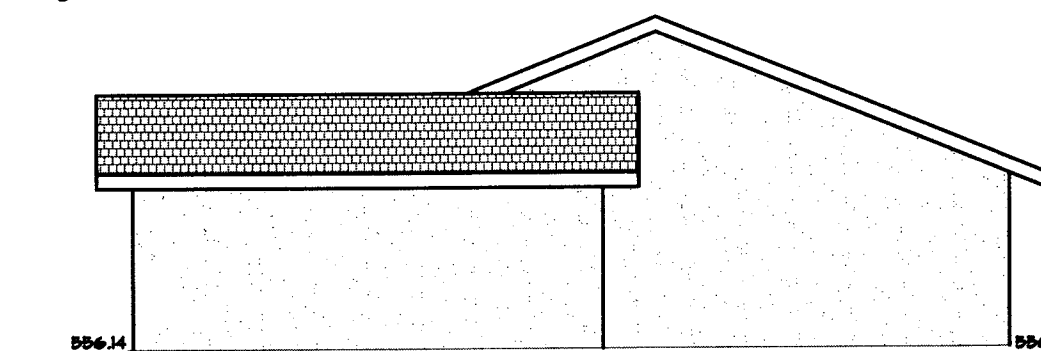
(E) PALMA STREET SIDE ELEVATION

1/8" = 1'-0"



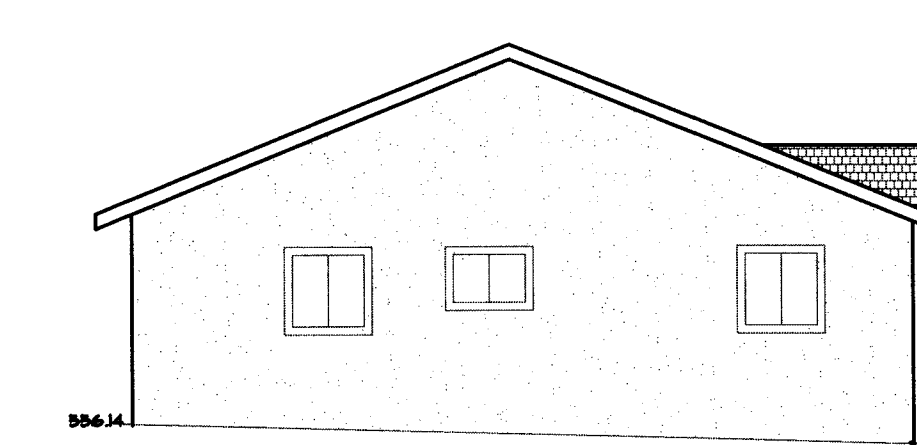
(E) REAR ELEVATION

1/8" = 1'-0"



(E) LEFT ELEVATION

1/8" = 1'-0"



(E) VALENCIA STREET ELEVATION

1/8" = 1'-0"



VICINITY MAP

SCALE: N.T.S.

NEW ADDITION FOR HILLHOUSE RESIDENCE
 207 PALMA AVENUE, EL GRANADA CA

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT

PACIFICA, CA 94044
 (650) 359-0947 EMAIL: cdorris@dominguezassociates.com

REVISION

NO.	DATE
1	8-29-18

SCALE

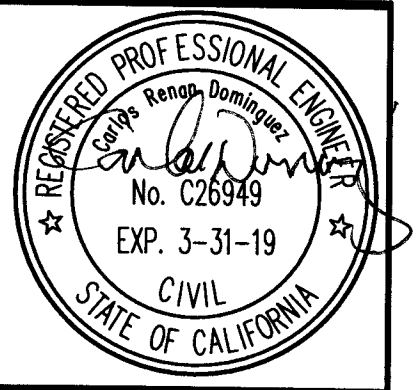
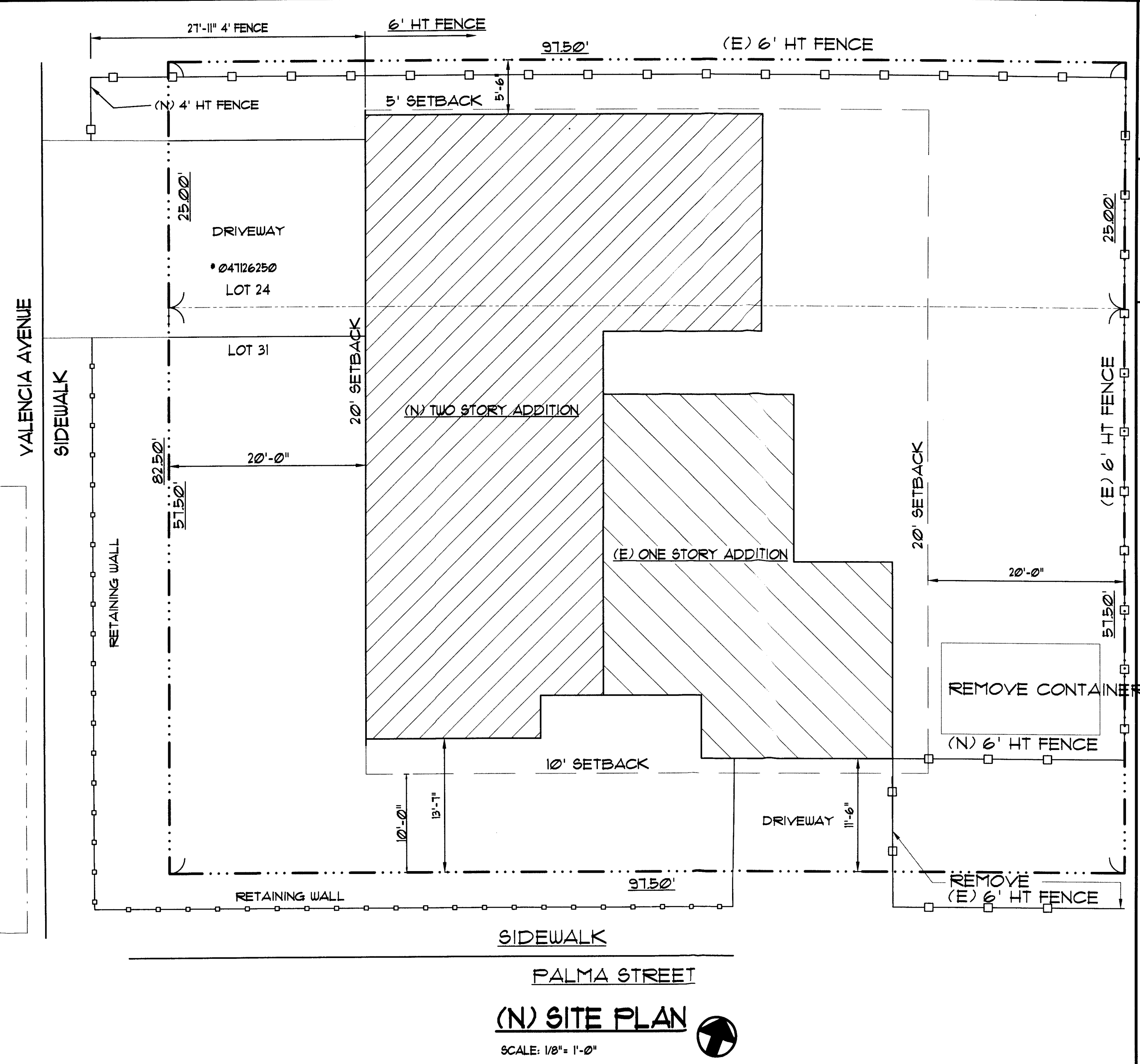
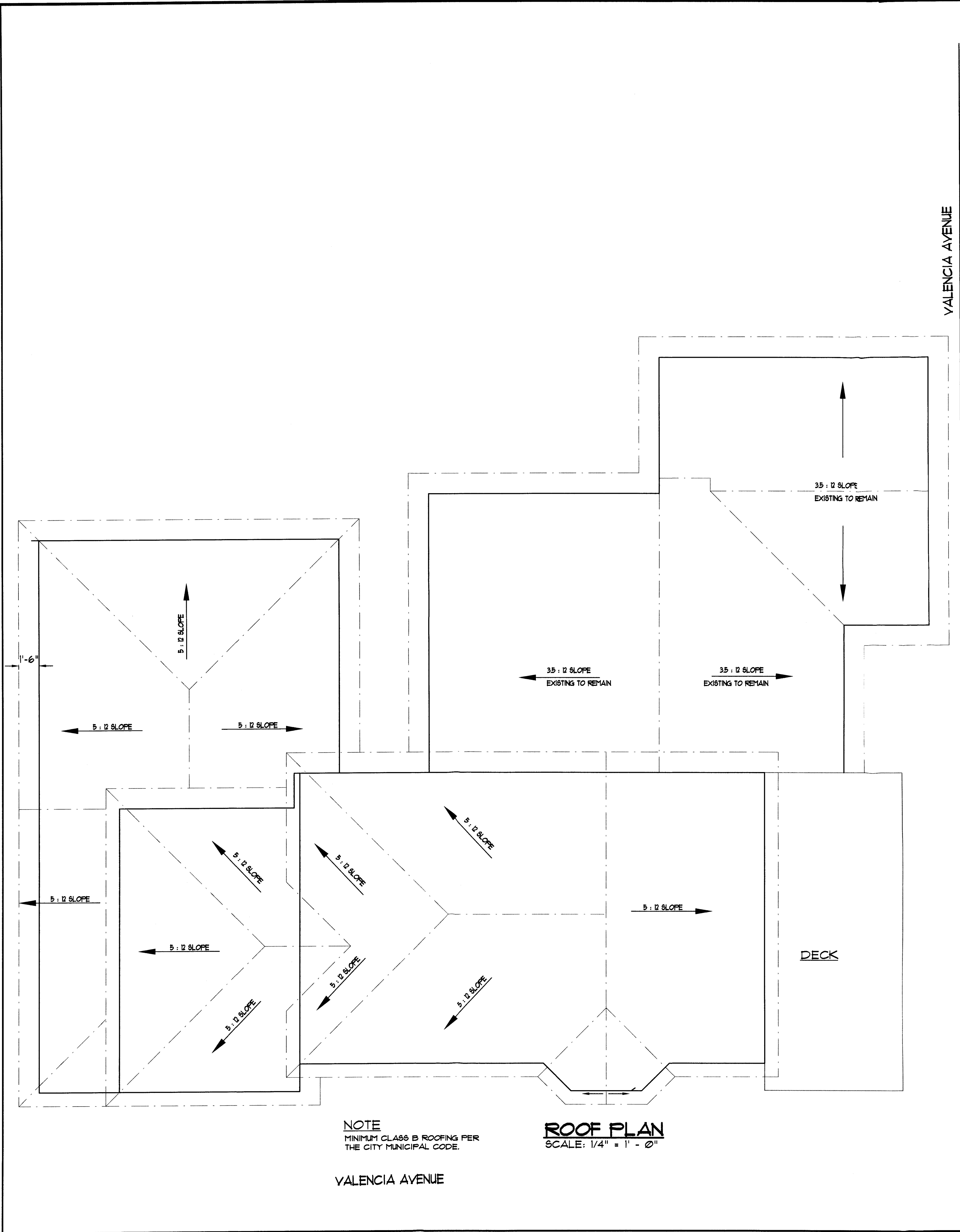
SHEET NUMBER

A1

OF SHEETS

DATE 3-14-18

FILE HIL 1645



**NEW ADDITION FOR HILLHOUSE RESIDENCE
207 PALMA AVENUE, EL GRANADA CA**

DOMINGUEZ ASSOCIATES LLC
PACIFICA, CA. 94044
(650) 359-0947 EMAIL: carlos@dominguezassociates.com

REVISION	
NO.	DATE
1	8-29-18

SCALE
SHEET NUMBER

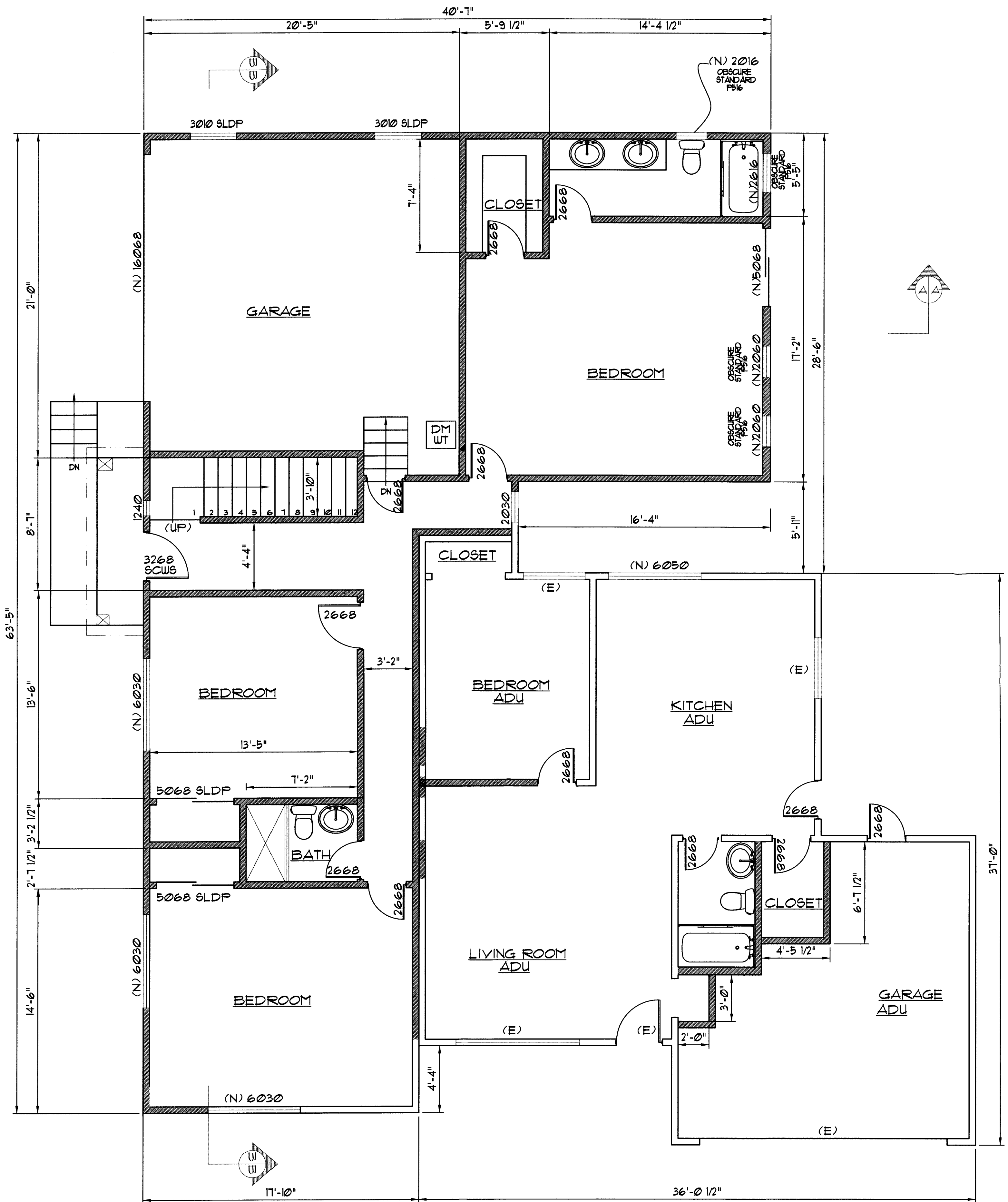
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OF SHEETS
DATE 3-14-18
FILE HIL 1645



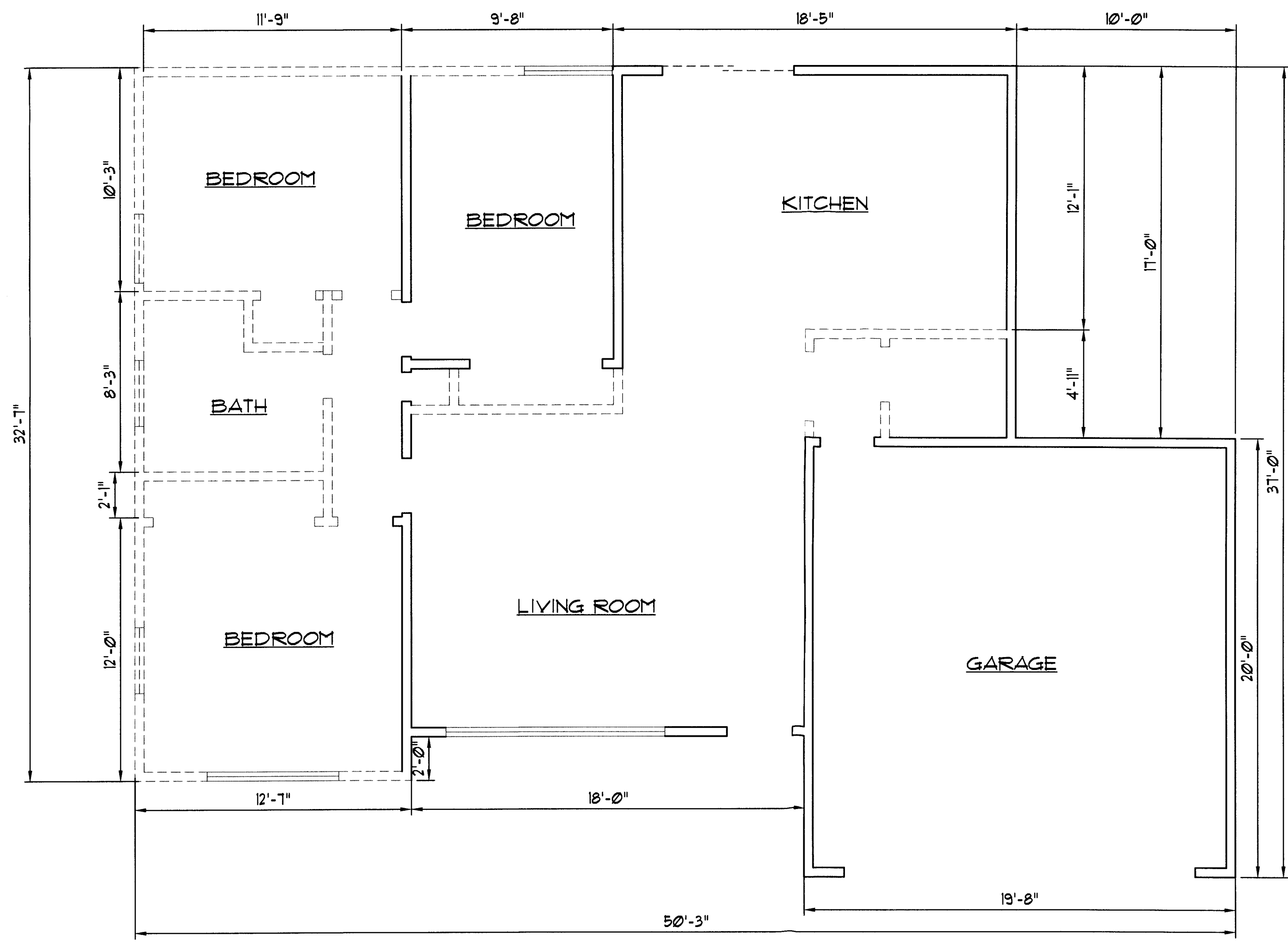
GENERAL LEGEND

- INDICATES EXISTING WALL
- NEW WALL
- INDICATES EXISTING
- INDICATES NEW
- INDICATES REMOVAL WALL
- EXISTING FENCE
- PROPERTY LINE



HAMPTON BAY MODEL # HB480TTP-231 FOR ALL OUTDOOR LIGHTING
 - 180-DEGREE OIL RUBBED BRONZE MOTION-SENSING OUTDOOR WALL LANTERN
 - APPROVED BY THE INTERNATIONAL DARK SKY ASSOCIATION

NEW FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



(E) DEMOLITION FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

**NEW ADDITION FOR HILLHOUSE RESIDENCE
 201 PALMA AVENUE, EL GRANADA CA**

PACIFICA, CA. 94044
 (650) 359-0947 EMAIL: corcos@dominguezassociates.com

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT

REVISION	
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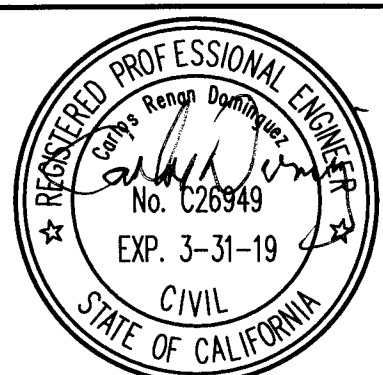
SCALE SHEET NUMBER

A3

OF SHEETS

DATE 3-14-18

FILE HIL 1645



FIRST FLOOR AREA CALCULATIONS

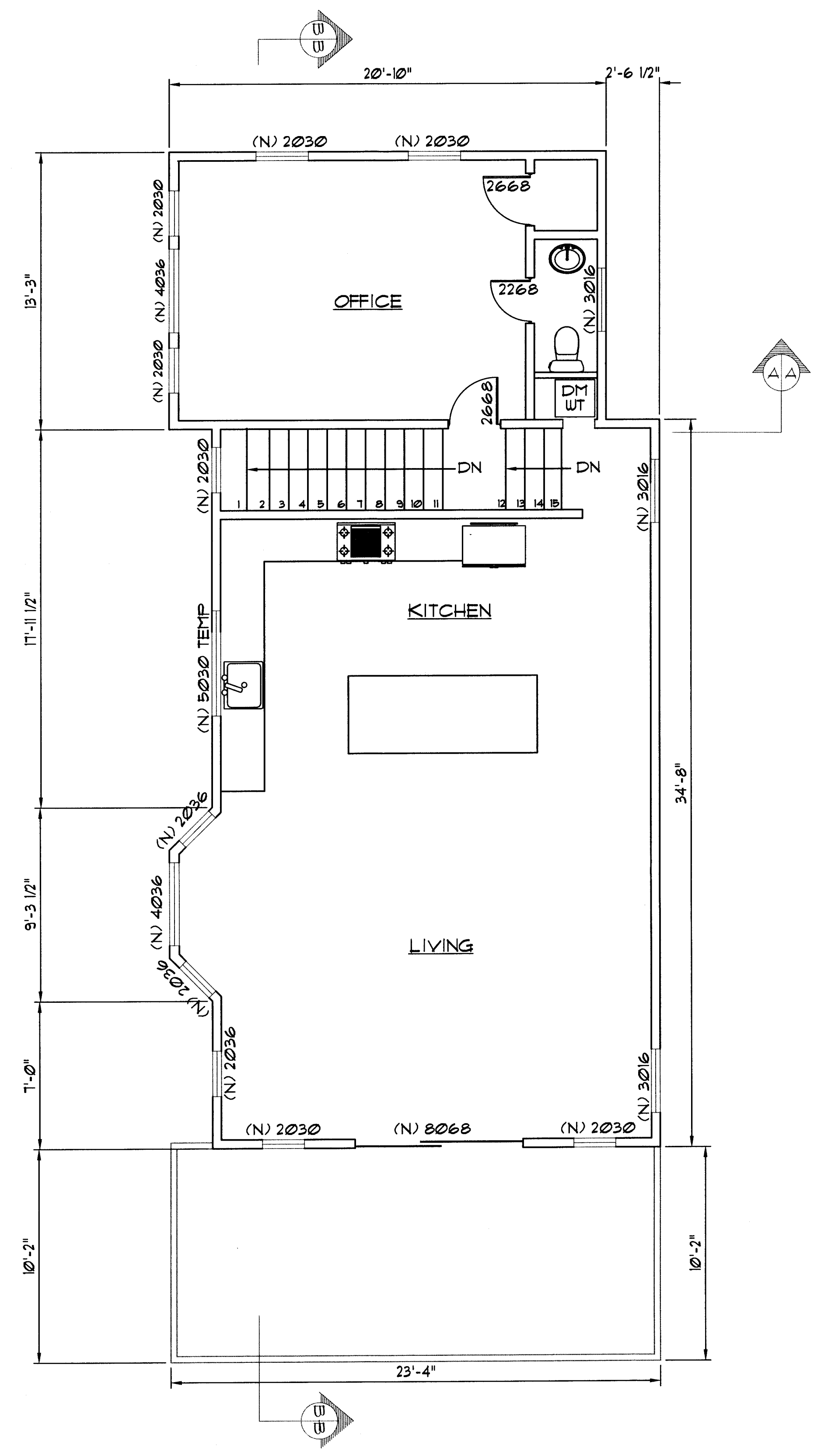
	SECTION	DIMENSIONS	AREA
MAIN UNIT	E GARAGE	21'-0" X 20'-5"	428.75 SQFT
	F	20'-2" X 22'-7"	455.43 SQFT
	G	22'-1" X 17'-10"	392.33 SQFT
	H	6' X 7'	22.46 SQFT
	I	20'-4" X 17'-10"	361.19 SQFT
	Z	2'-7" X 1'-7"	4.09 SQFT
	TOTAL		1664.25 SQFT
ADU	J	16'-11" X 11'-5"	193.13 SQFT
	K	16'-1 1/2" X 14'-7"	247.31 SQFT
	L	16'-4 1/2" X 13'-7 3/8"	222.94 SQFT
	M GARAGE	20' X 19'-8"	393.33 SQFT
	N	6'-5" X 2'-5"	15.51 SQFT
	TOTAL		1072.22 SQFT

SECOND FLOOR AREA CALCULATIONS

MAIN UNIT	SECTION	DIMENSIONS	AREA
	A	30' X 21'-4"	639.56 SQFT
	B	4'-8" X 21'-4"	92.51 SQFT
	C	12'-10" X 20'-10"	276.04 SQFT
	D	5'-2" X 9'-3"	3.69 SQFT
	TOTAL		1011.86 SQFT

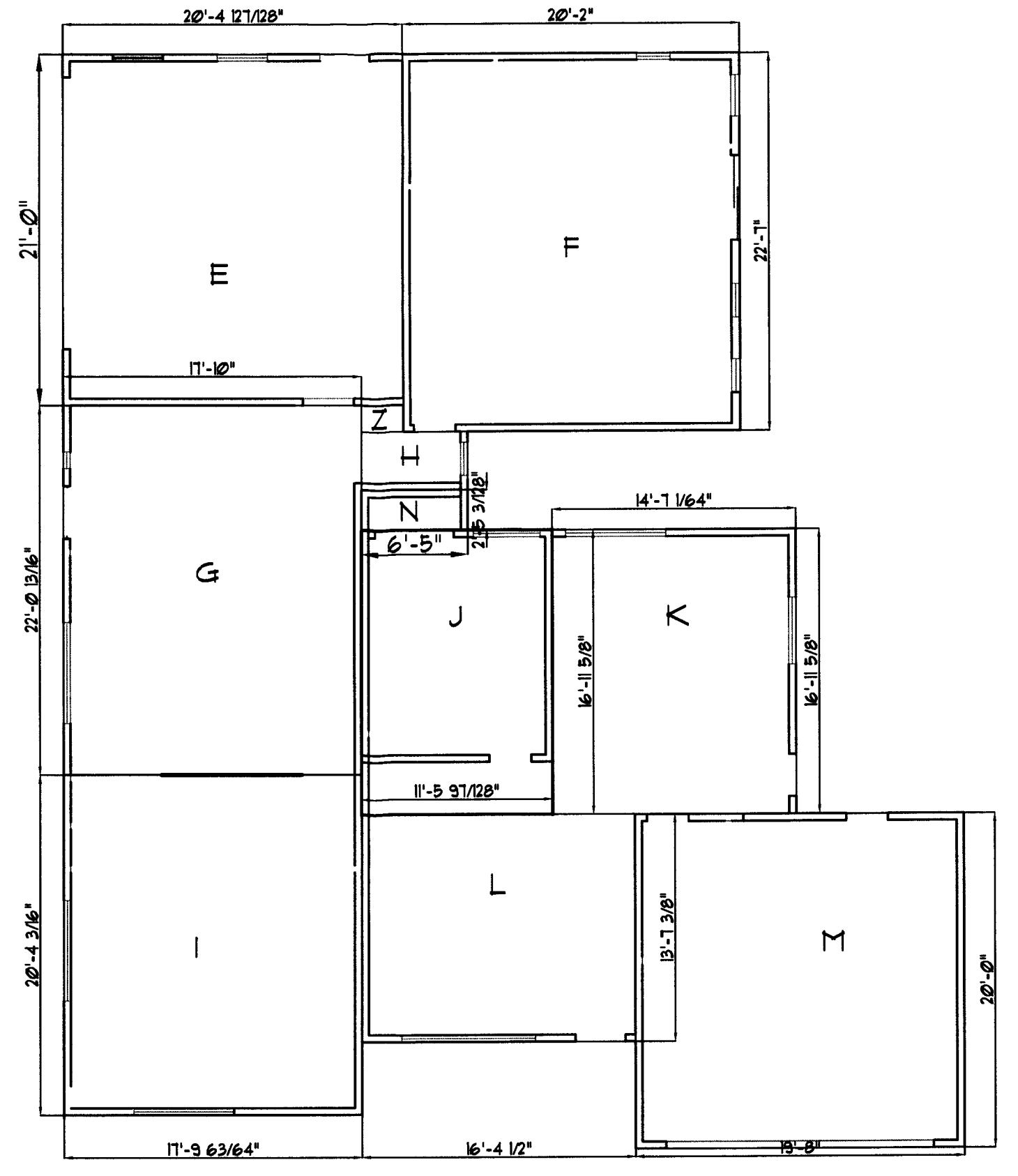
TOTAL FLOOR AREA

	ADU	MAIN UNIT	TOTAL
FIRST FLOOR	1072.22 SQFT	1664.25 SQFT	2736.47 SQFT
SECOND FLOOR	-	1043.82 SQFT	1011.86 SQFT
TOTAL	1072.217 SQFT	2708.07 SQFT	3780.29 SQFT



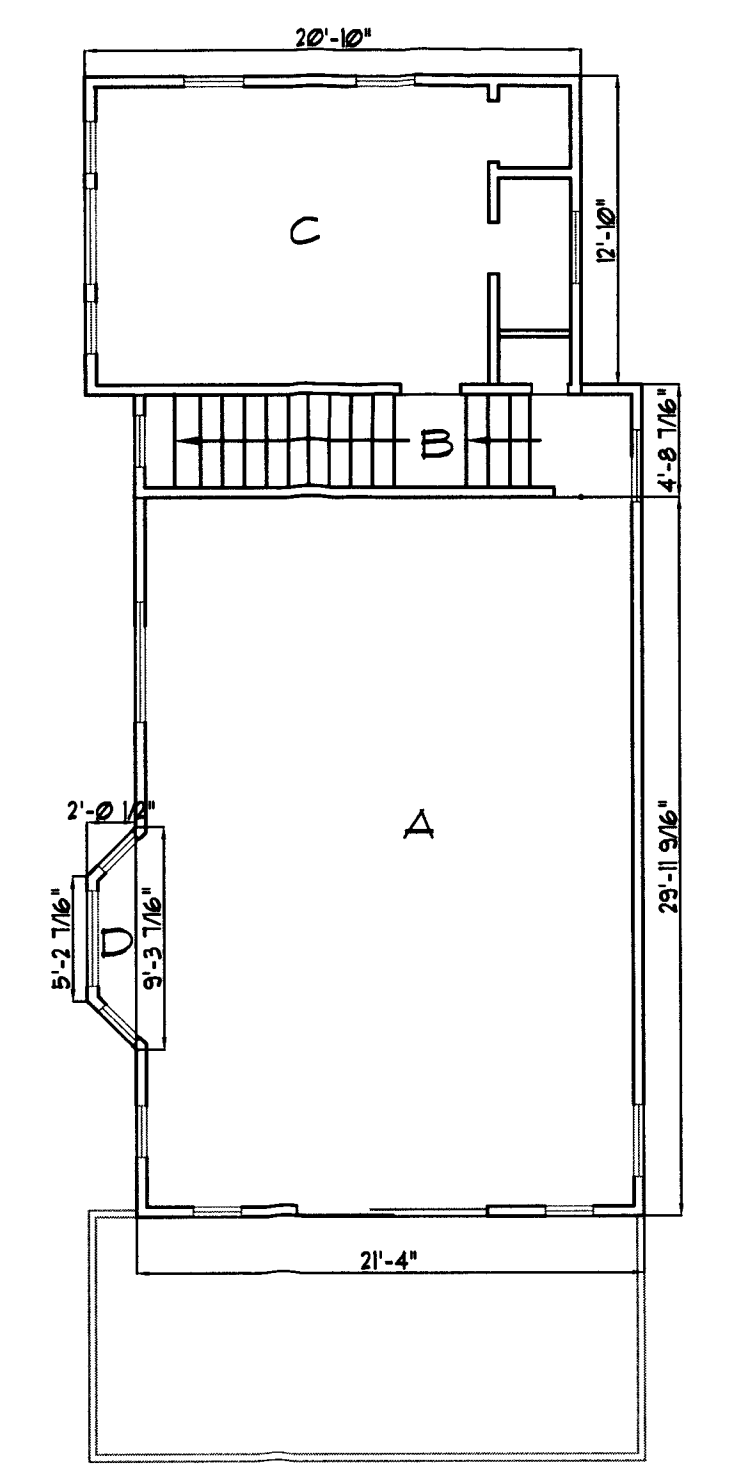
SECOND FLOOR PLAN

1/2" = 1'-0"
 HAMPTON BAY MODEL * HB4801MP-231 FOR ALL OUTDOOR LIGHTING
 - 180-DEGREE OIL RUBBED BRONZE MOTION-SENSING OUTDOOR WALL LANTERN
 - APPROVED BY THE INTERNATIONAL DARK SKY ASSOCIATION



FIRST FLOOR AREA

1/8" = 1'-0"



SECOND FLOOR AREA

1/8" = 1'-0"

NEW ADDITION FOR HILLHOUSE RESIDENCE
 207 PALMA AVENUE, EL GRANADA CA

PACIFICA, CA. 94044
 (650) 359-0947 EMAIL carlos@dominguezassociates.com

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT

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SCALE

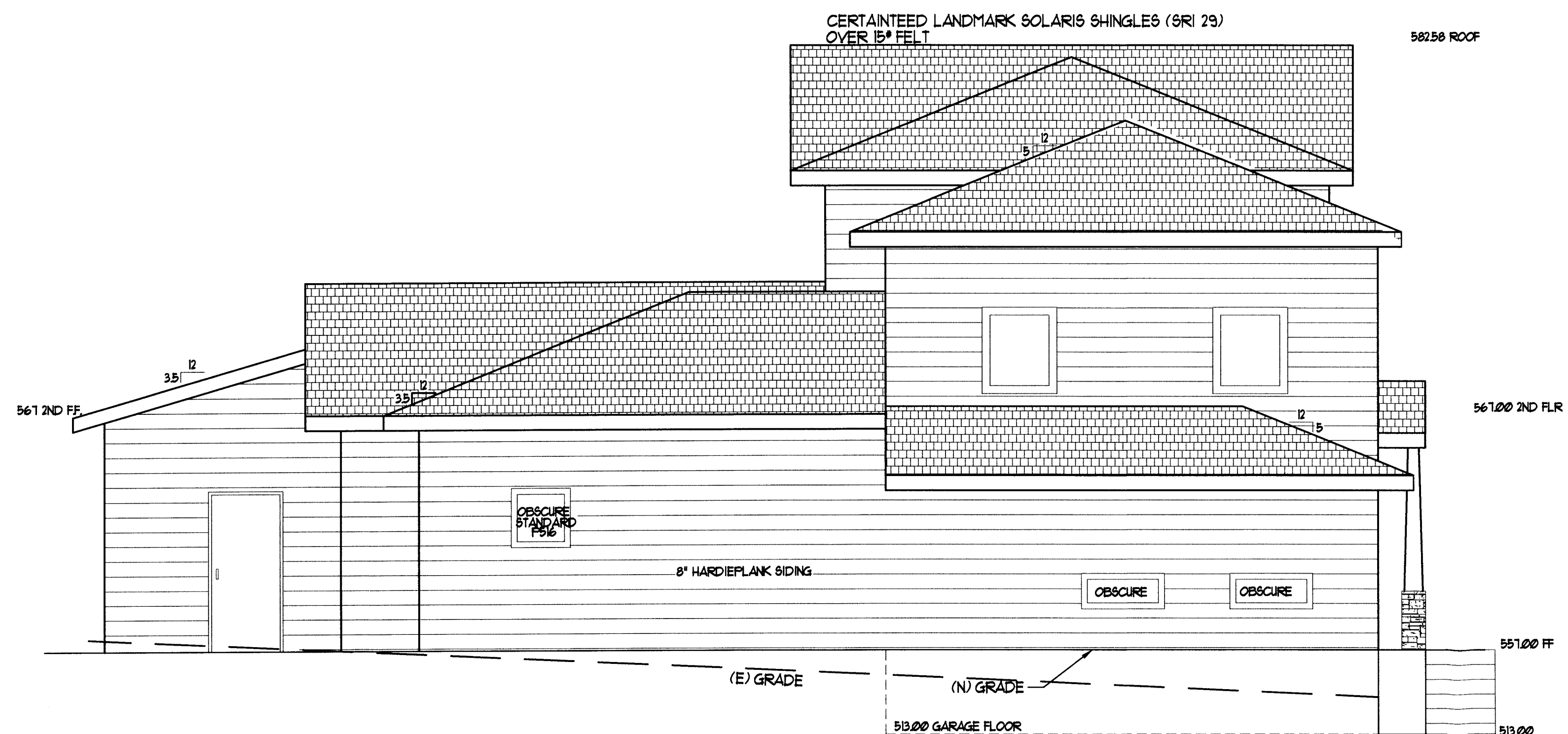
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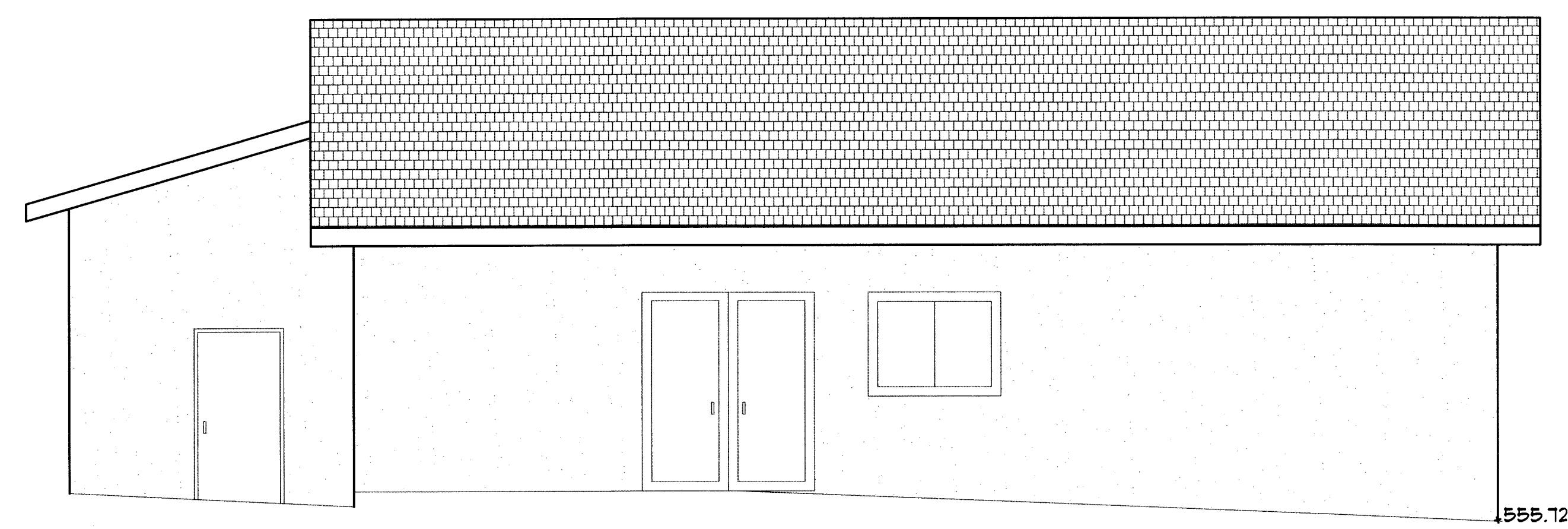
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DATE 3-14-18

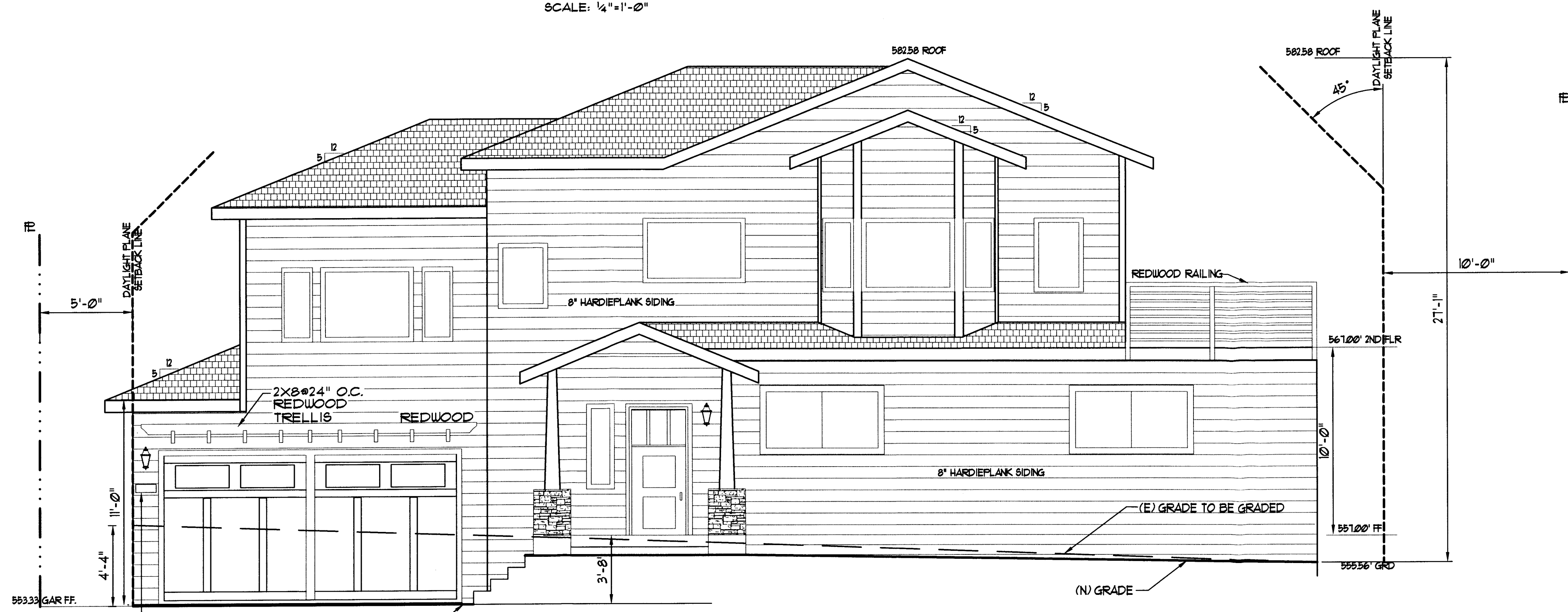
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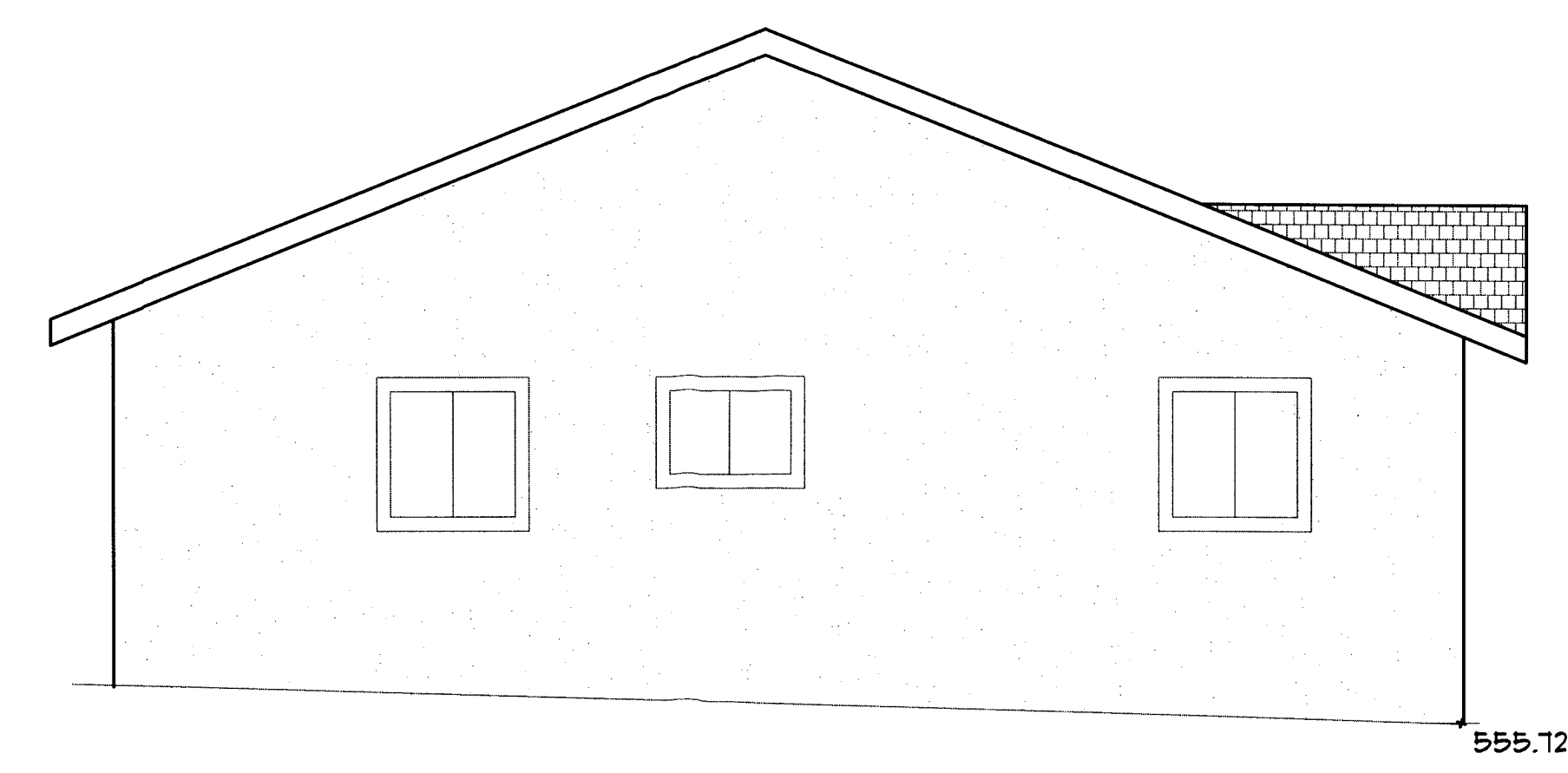
NEW LEFT ELEVATION
SCALE: 1/4"=1'-0"



(E) LEFT ELEVATION
SCALE: 1/4"=1'-0"



NEW VALENCIA STREET ELEVATION
SCALE: 1/4"=1'-0"



(E) VALENCIA STREET ELEVATION
SCALE: 1/4"=1'-0"

HOUSE COLORS:
2X4 PAINTED WHITE KELLY MOORE 5878 KETTLEMAN
TRIM TYP ALL WINDOWS & DOORS
HOUSE COLOR YELLOW KELLY MOORE
KM 5291-1 BEACH TOWEL

ALL NEW EXTERIOR LIGHTS WILL BE:
HAMPTON BAY MODEL # HB4801TF-23T
- 180-DEGREE OIL RUBBED BRONZE MOTION-SENSING OUTDOOR WALL LANTERN
- APPROVED BY THE INTERNATIONAL DARK SKY ASSOCIATION

**NEW ADDITION FOR HILLHOUSE RESIDENCE
207 PALMA AVENUE, EL GRANADA CA**

PACIFICA, CA. 94044
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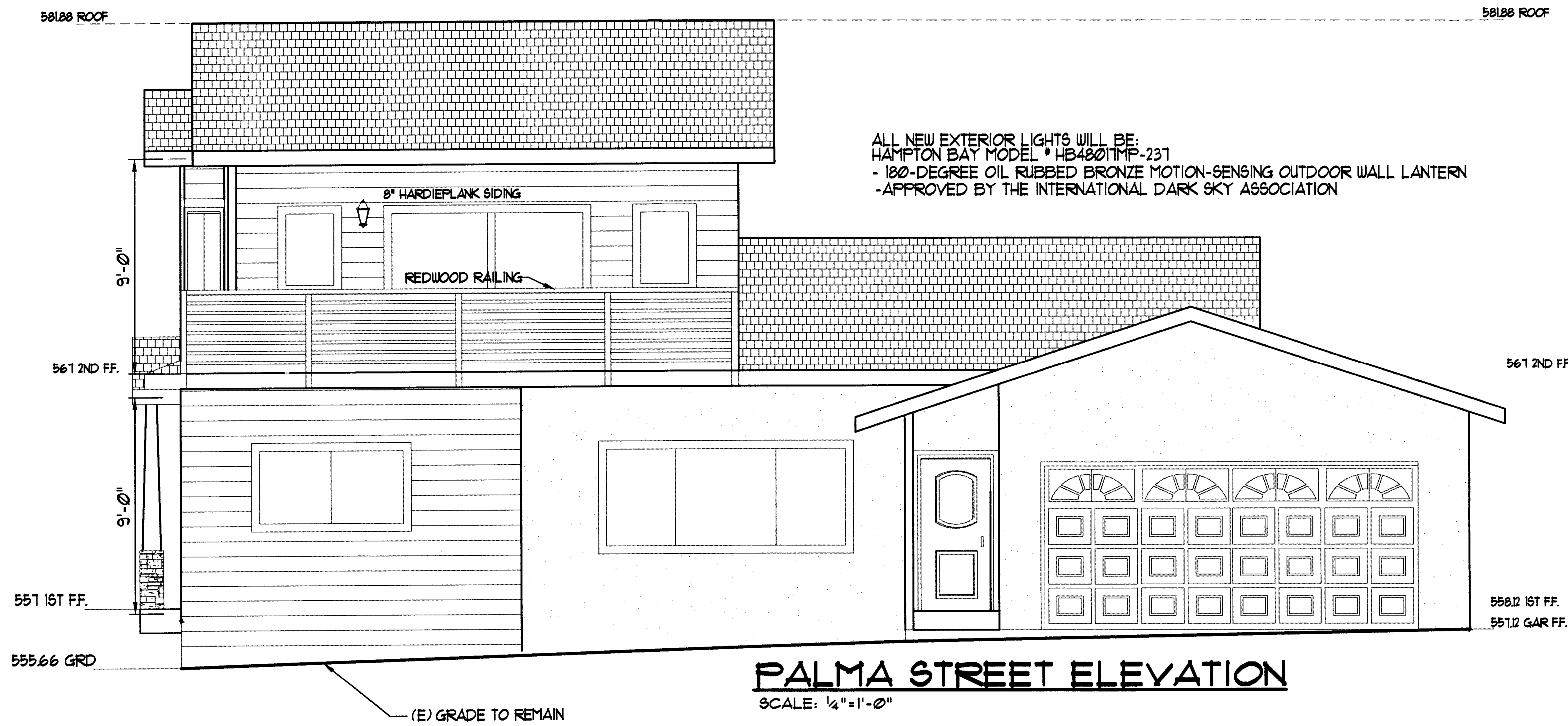
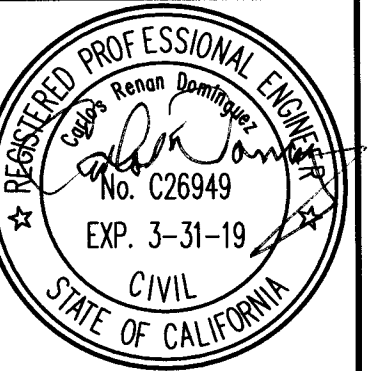
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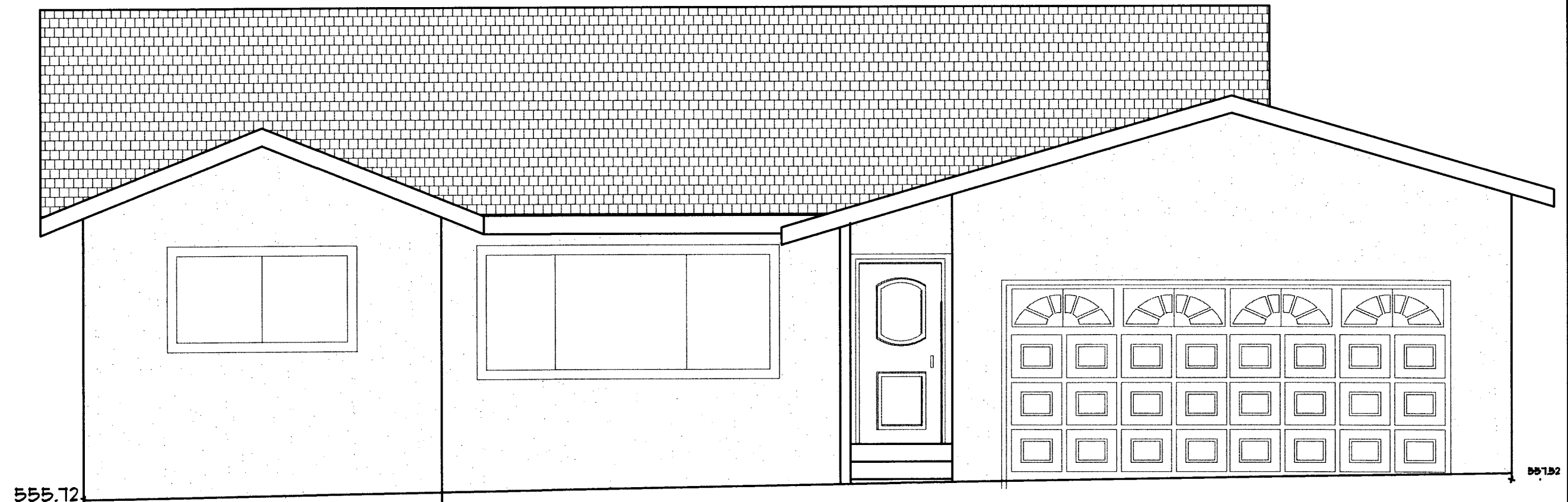
SCALE
SHEET NUMBER

A5

OF SHEETS
DATE 3-14-18
FILE HIL 1645



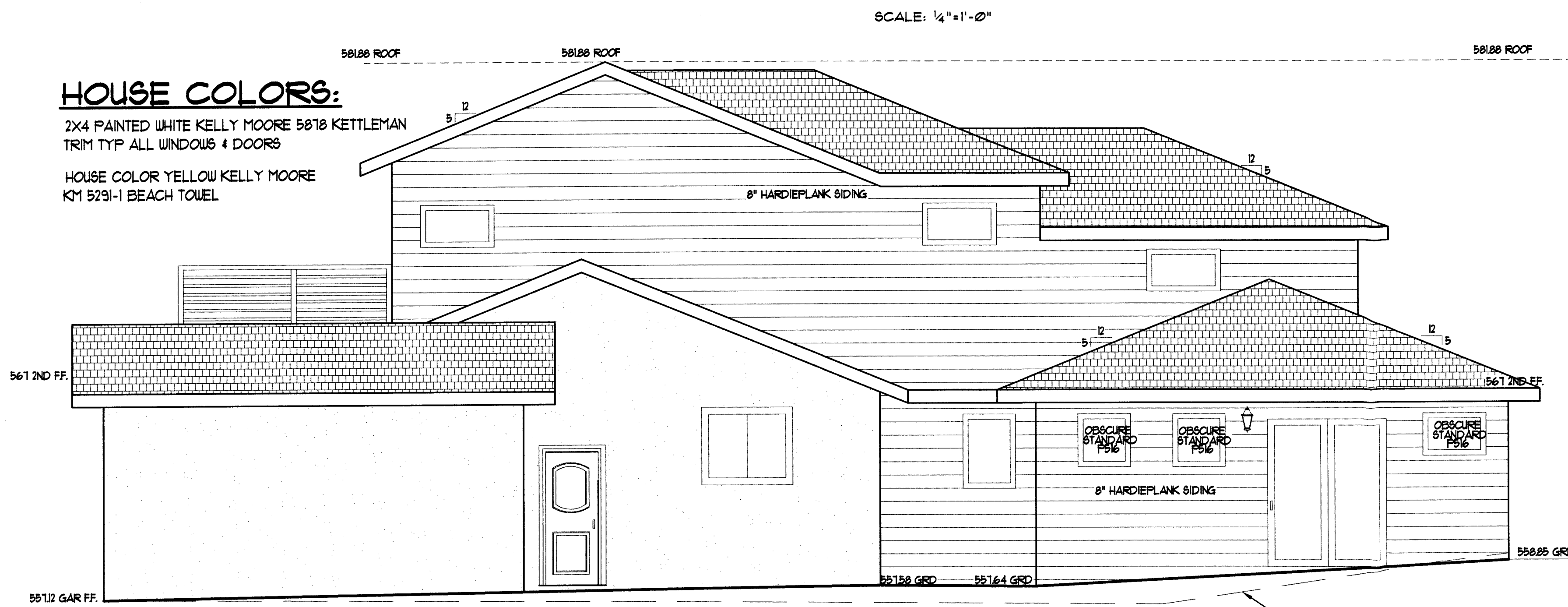
PALMA STREET ELEVATION
SCALE: 1/4"=1'-0"



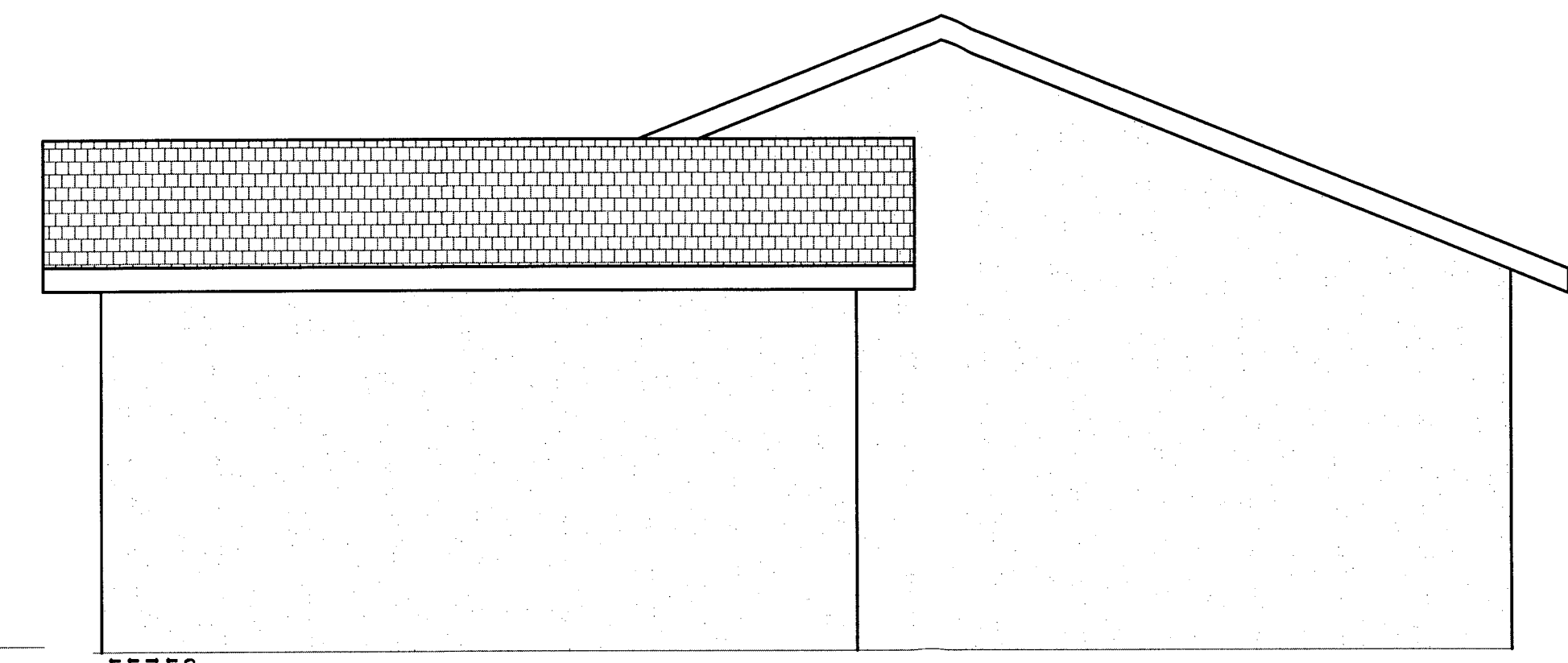
(E) PALMA STREET SIDE ELEVATION
SCALE: 1/4"=1'-0"

HOUSE COLORS:

2X4 PAINTED WHITE KELLY MOORE 5878 KETTLEMAN
TRIM TYP ALL WINDOWS & DOORS
HOUSE COLOR YELLOW KELLY MOORE
K1 5291-1 BEACH TOWEL



REAR ELEVATION
SCALE: 1/4"=1'-0"



(E) REAR ELEVATION
SCALE: 1/4"=1'-0"

**NEW ADDITION FOR HILLHOUSE RESIDENCE
207 PALMA AVENUE, EL GRANADA CA**

PACIFICA, CA. 94044
(650) 359-0847 EMAIL corios@dominguezassociates.com

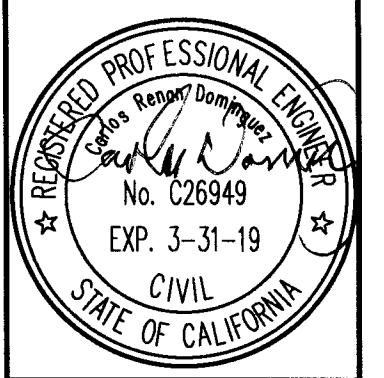
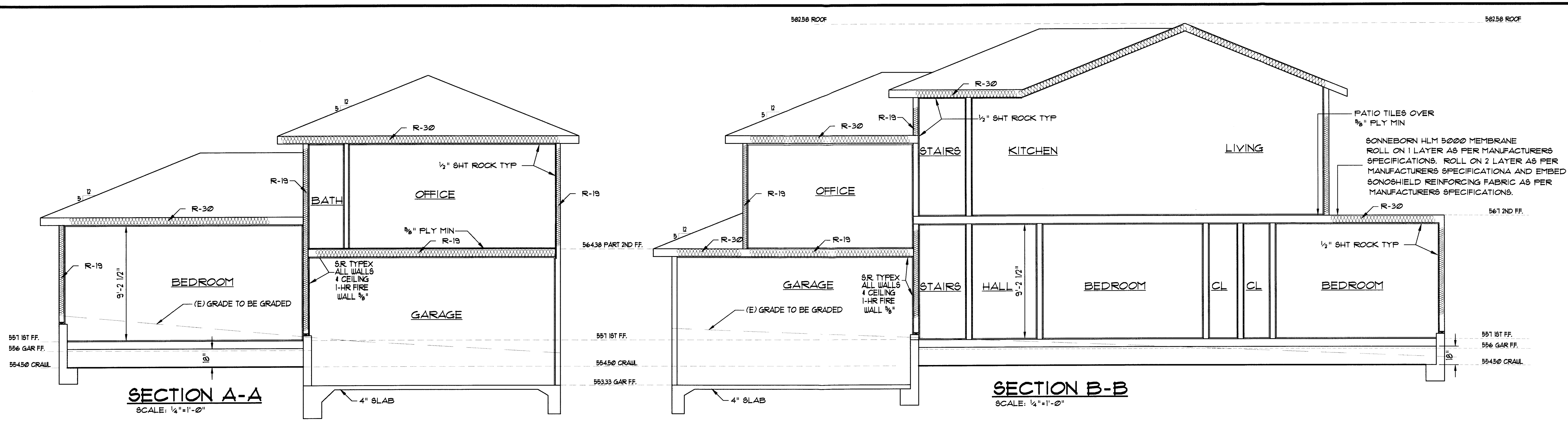
DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT

REVISION	
NO.	DATE
1	8-29-18

SCALE
SHEET NUMBER

A6

ALL NEW EXTERIOR LIGHTS WILL BE:
HAMPTON BAY MODEL # HB4801MP-231
- 180-DEGREE OIL RUBBED BRONZE MOTION-SENSING OUTDOOR WALL LANTERN
- APPROVED BY THE INTERNATIONAL DARK SKY ASSOCIATION



40 HUMBOLDT COURT PACIFICA, CA. 94044
(650) 359-0947 EMAIL carlos@dominguezassociates.com

NEW ADDITION FOR HILLHOUSE RESIDENCE
201 PALMA AVENUE, EL GRANADA CA

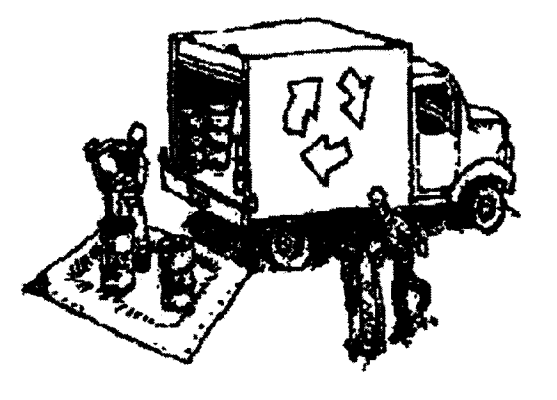
DOMINGUEZ ASSOCIATES LLC



Construction Best Management Practices (BMPs)

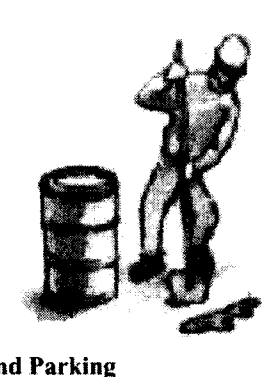
Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



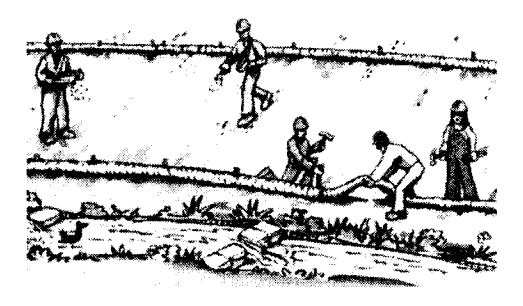
- Non-Hazardous Materials**
- Bern and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes.
- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
 - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
 - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
 - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.
- Spill Prevention and Control**
- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
 - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - Clean up spills or leaks immediately and dispose of cleanup materials properly.
 - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
 - Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
 - Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
 - Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
 - Keep excavated soil on site and transfer it to damp trucks on site, not in the streets.
- Contaminated Soils**
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Concrete, Grout & Mortar Application

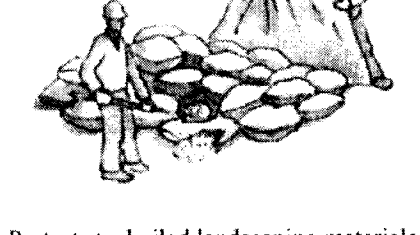


- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Sawcutting & Asphalt/Concrete Removal

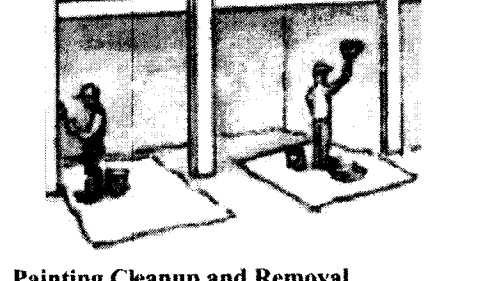
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

Landscaping



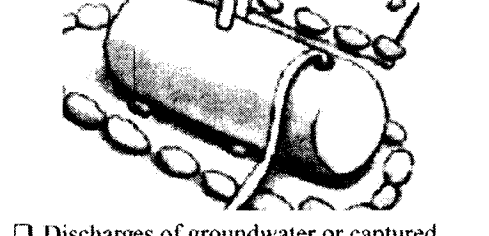
- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



- Painting Cleanup and Removal**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
 - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
 - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
 - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
 - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

REVISION	
NO.	DATE
1	8-29-18

SCALE

SHEET NUMBER

A7

OF SHEETS

DATE 3-14-18

FILE HIL 1645



VICINITY MAP
N.T.S.

SUBDIVISIONS NO. 2 & 3 OF GRANDA RESUBDIVISION

BENCHMARK

ELEVATION 554.50 WAS MEASURED ON TOP OF WATER METER IN FRONT OF EXISTING BUILDING ON PALMA STREET.

BASIS OF BEARINGS

THE BEARING, N 12°10' E ON THE MONUMENT LINE ON ALHAMBRA AVENUE BETWEEN FOUND STANDARD CITY MONUMENTS AT THE INTERSECTIONS OF PALMA STREET AND ALHAMBRA AVE AND ALHAMBRA AVENUE AND THE ALAMEDA AS SHOWN ON RECORD OF SURVEY VOLUME 14 PG. 121, SAN MATEO COUNTY RECORDS.

SPECIAL NOTES

1. ALL DIMENSIONS FROM THE BOUNDARIES OF THE PROPERTY IN QUESTION TO MONUMENT LINES OF THE MONUMENT MAP REFERRED TO HEREON ARE GIVEN FOR THE SOLE PURPOSE OF ITS RETRACEMENT. SUCH INFORMATION SHALL NOT BE USED FOR ANY OTHER PURPOSE.
2. ALL DEFLECTION ANGLES HEREON ARE 90 OR 45 DEGREES UNLESS EXPRESSLY OTHERWISE INDICATED.
3. ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.
4. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
5. ALL GRADES ARE BASED UPON ELEVATION OF 541.00' ON THE MONUMENT ON ALHAMBRA AVENUE AND PALMA STREET.
6. DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

ABBREVIATIONS

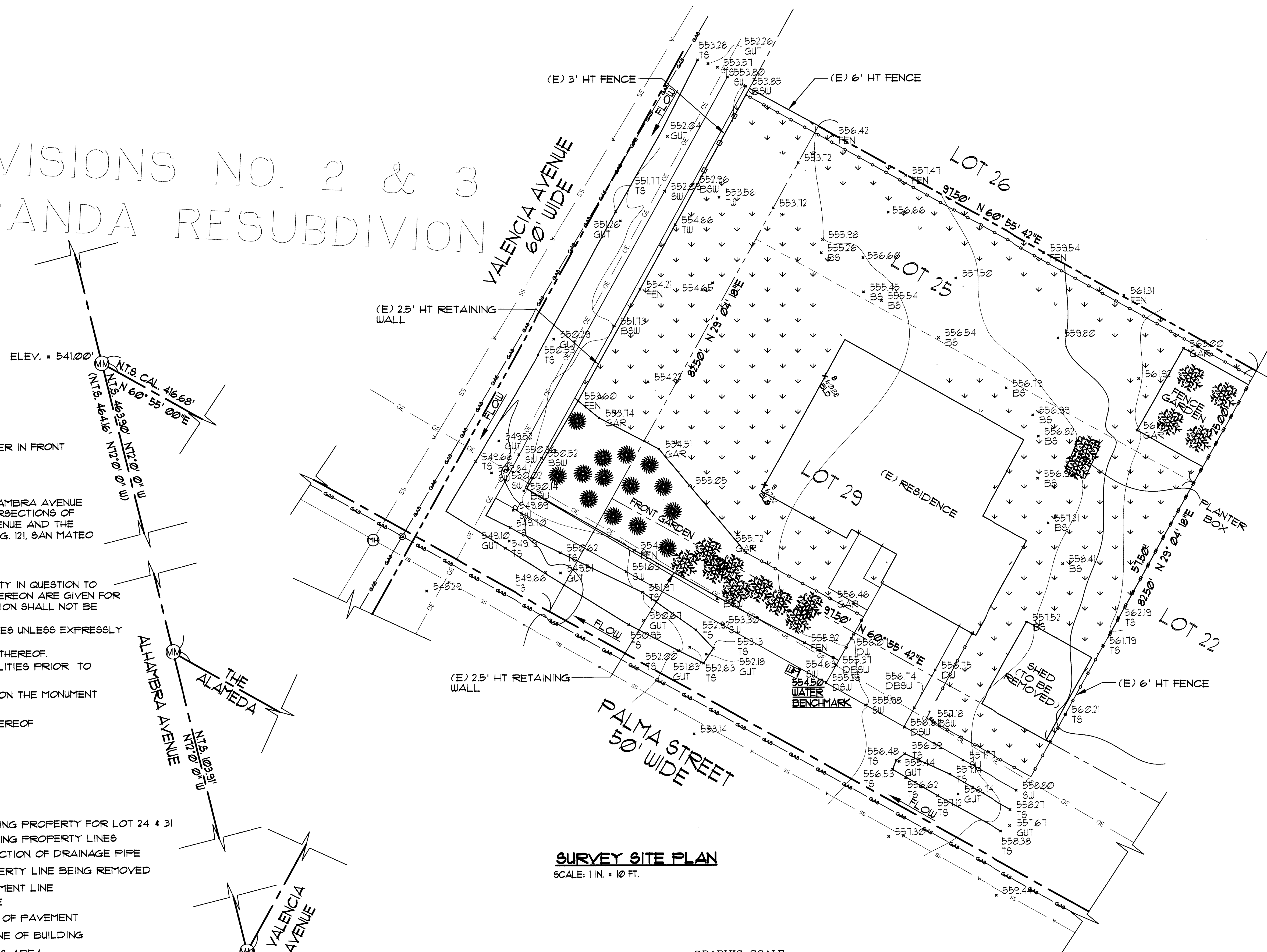
- P/L PROPERTY LINE
- EX. EXISTING
- FND. FOUND
- MEAS. MEASURED
- N.T.S. NOT TO SCALE

LEGEND:

- EXISTING PROPERTY FOR LOT 24 & 31
- EXISTING PROPERTY LINES
- DIRECTION OF DRAINAGE PIPE
- PROPERTY LINE BEING REMOVED
- MONUMENT LINE
- FENCE
- EDGE OF PAVEMENT
- OUTLINE OF BUILDING
- GRASS AREA
- PLANTS

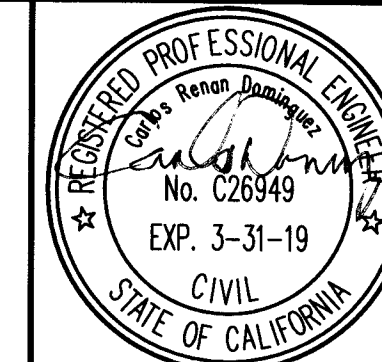
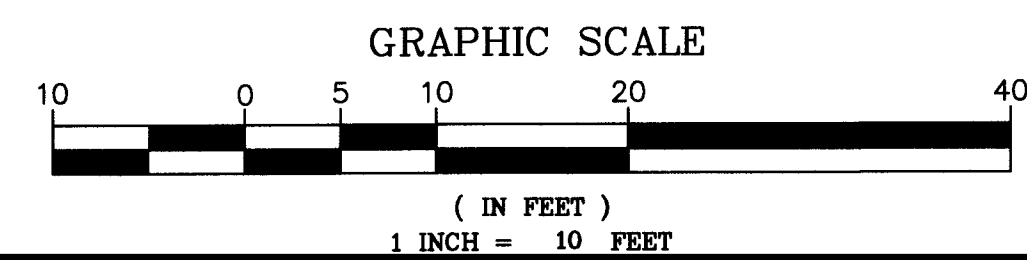
SYMBOLS

- ⊕ FND MONUMENT
- ⊙ WATER
- ⊞ UTILITY BOX
- ⊞ WATER METER



SURVEY SITE PLAN

SCALE: 1 IN. = 10 FT.



**EXISTING TOPOGRAPHIC MAP FOR HILLHOUSE RESIDENCE
201 PALMA STREET, EL GRANADA**

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT
PACIFICA, CA. 94044
(650) 359-0947 E-MAIL: CARLOS@SFRANMAIL.COM

REVISION

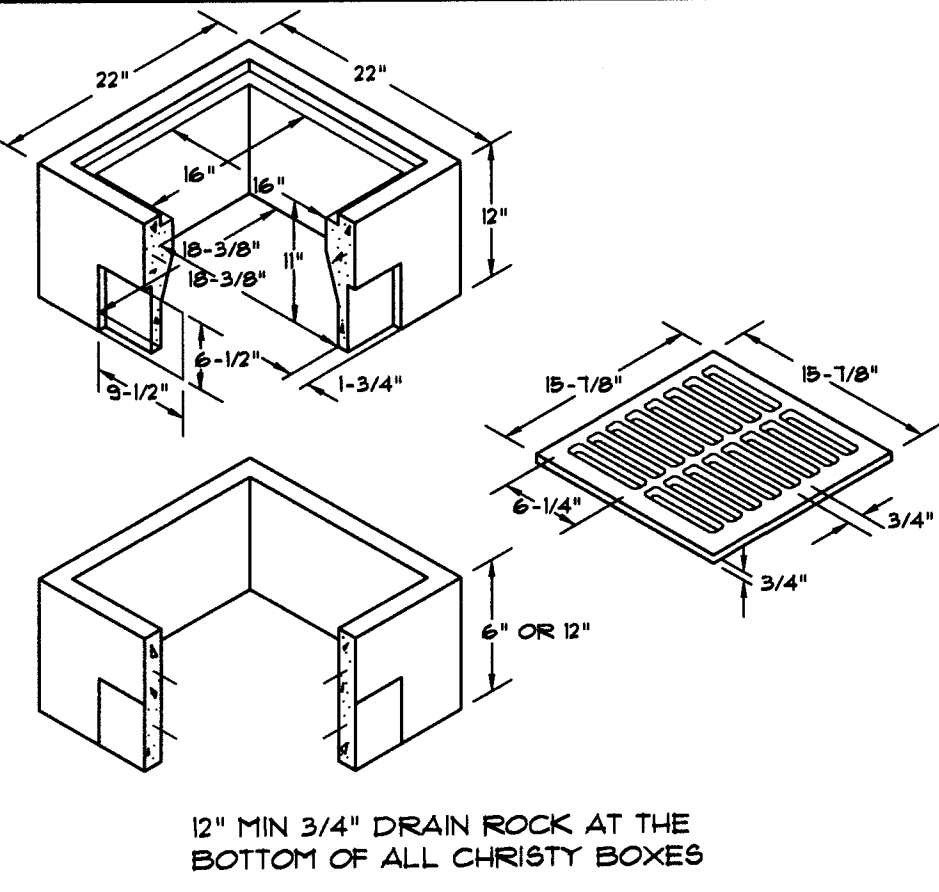
NO.	DATE
1	8-29-18

SCALE

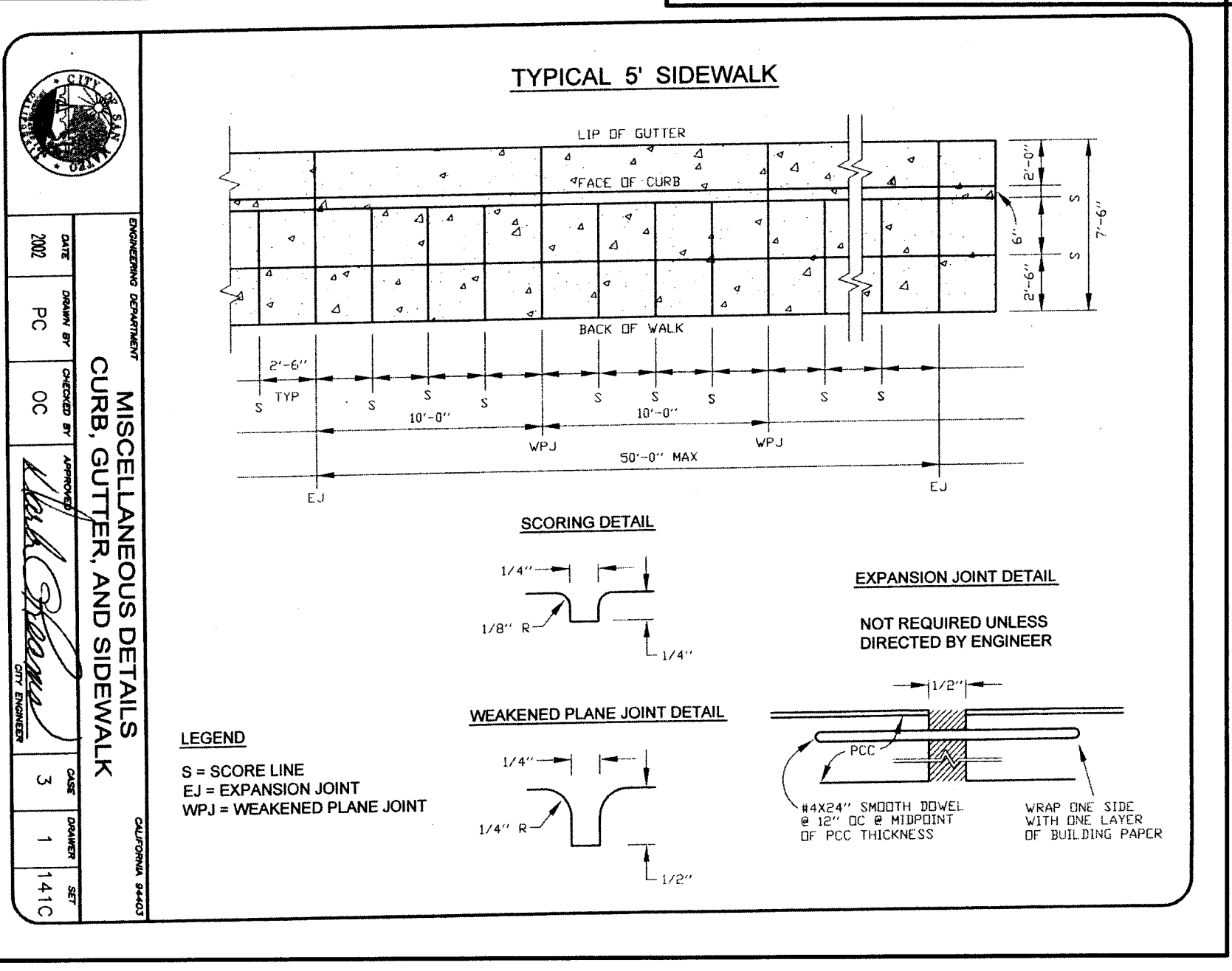
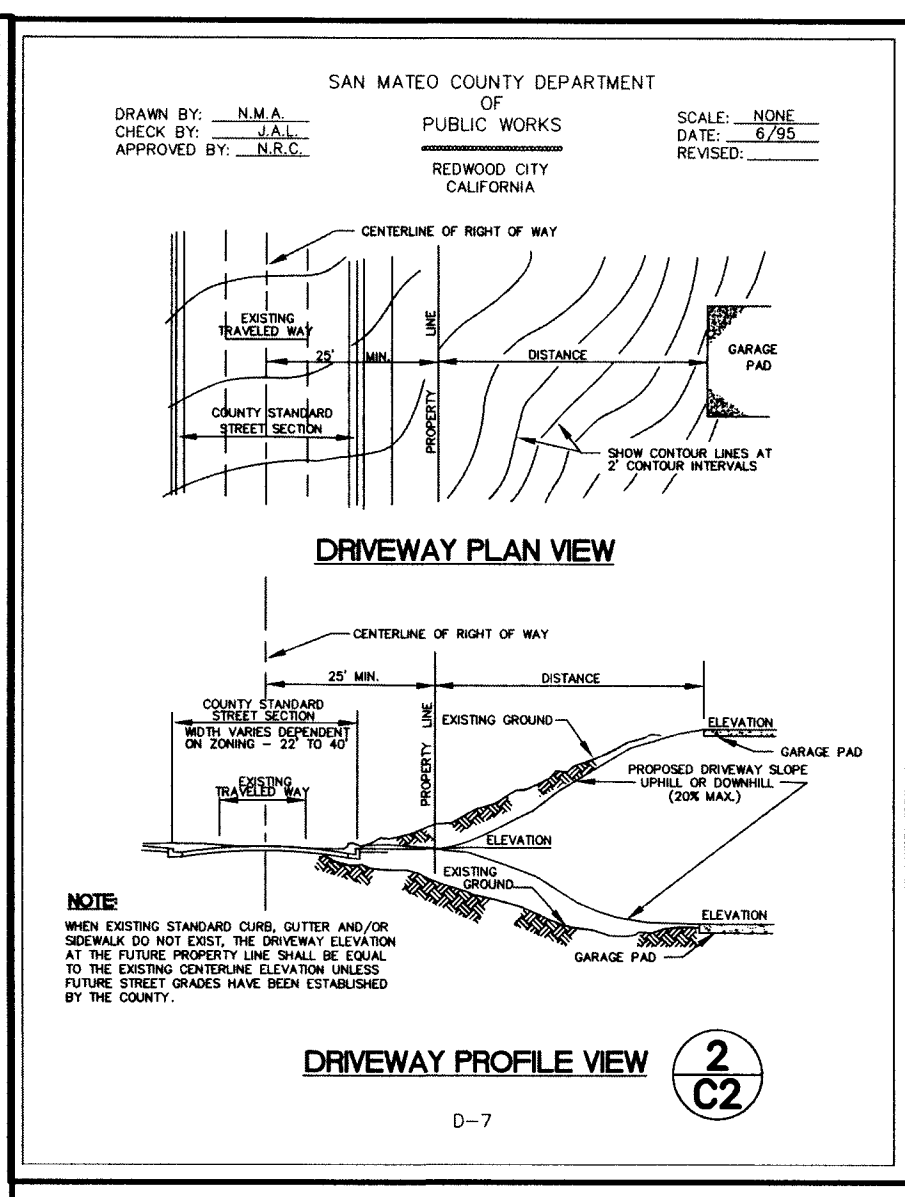
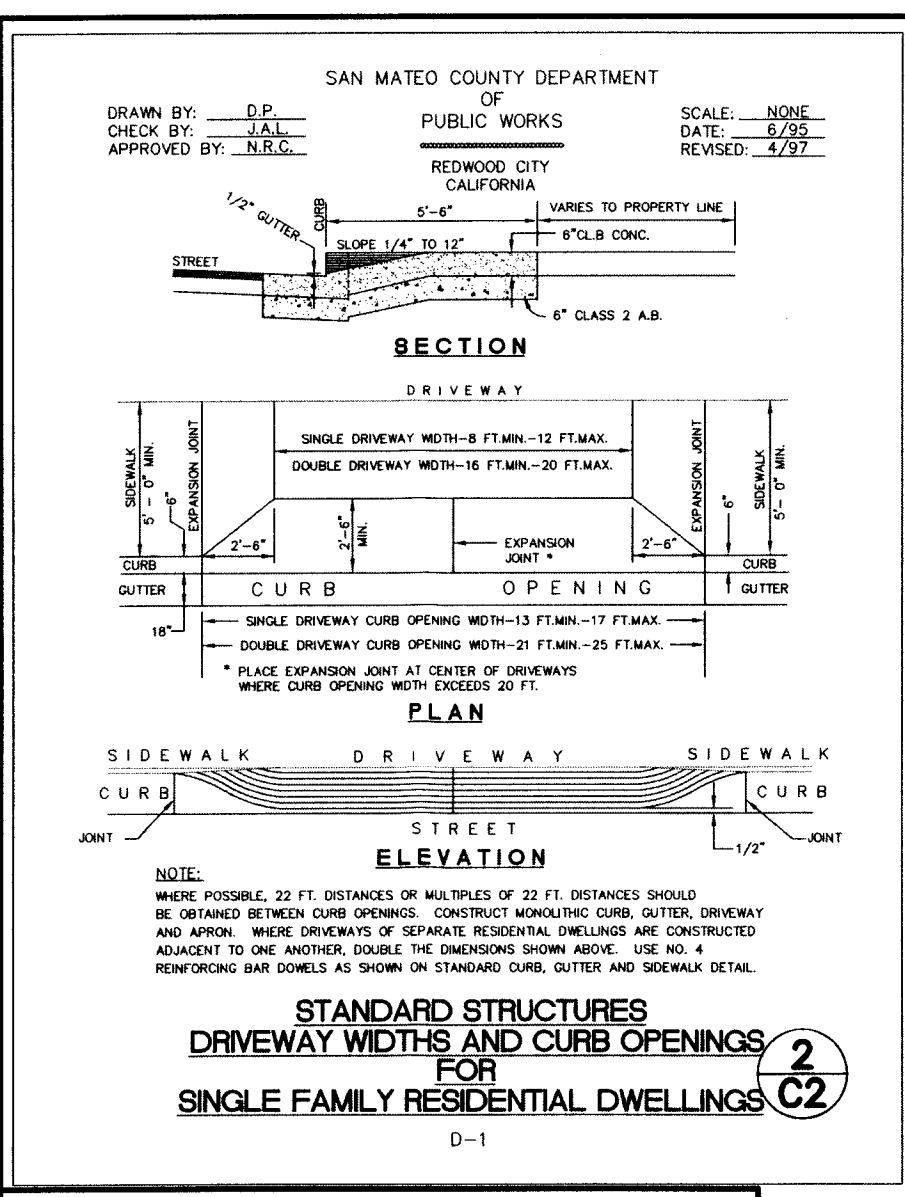
SHEET NUMBER

C1

OF SHEETS
DATE: 8-14-18

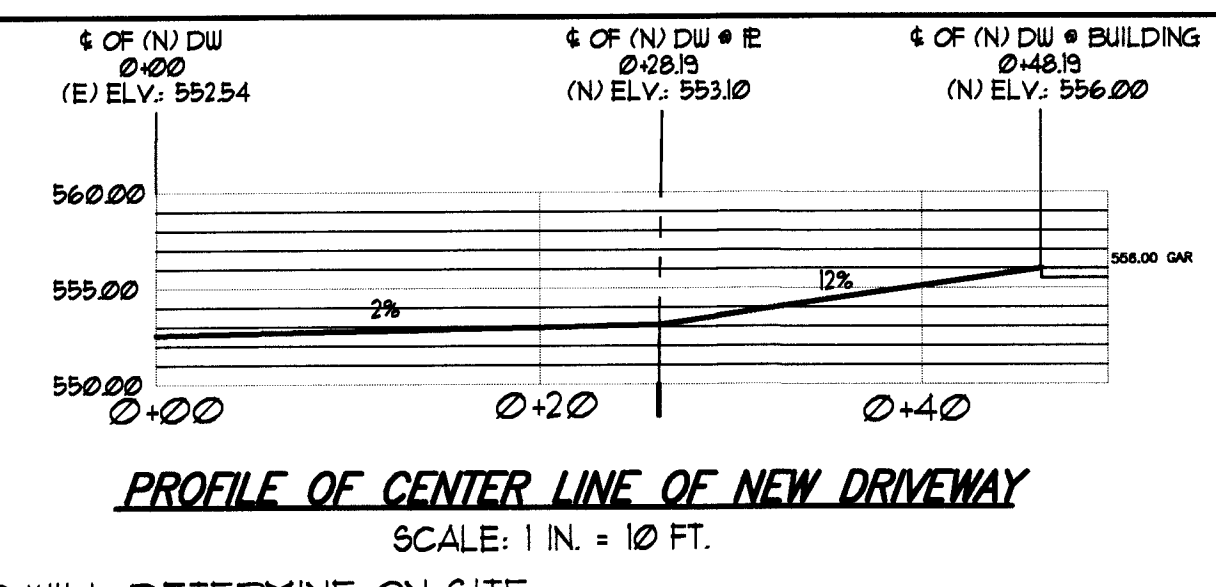


V64 DRAIN BOX (1) C2

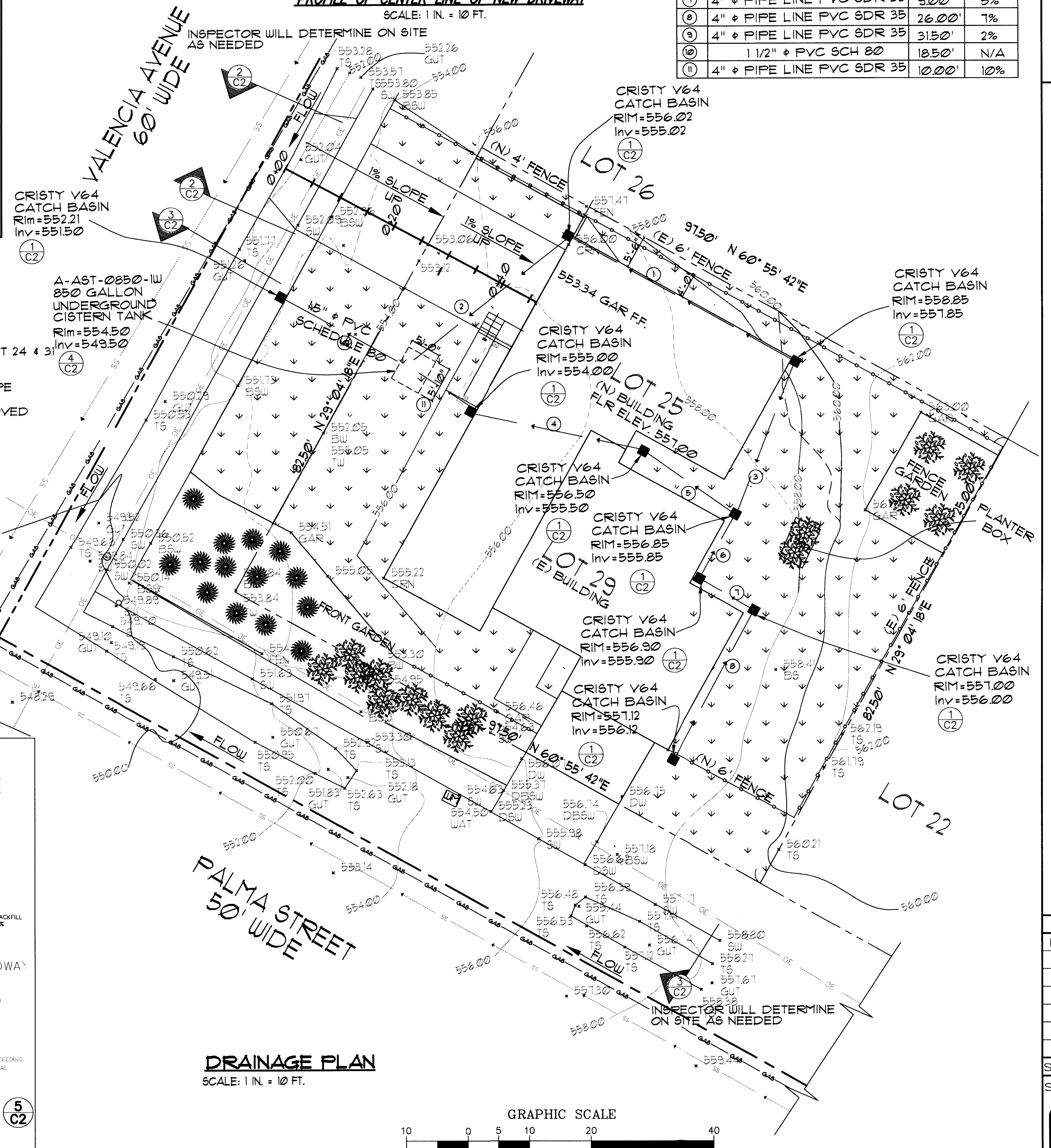


INSPECTOR WILL DETERMINE ON SITE AS NEEDED

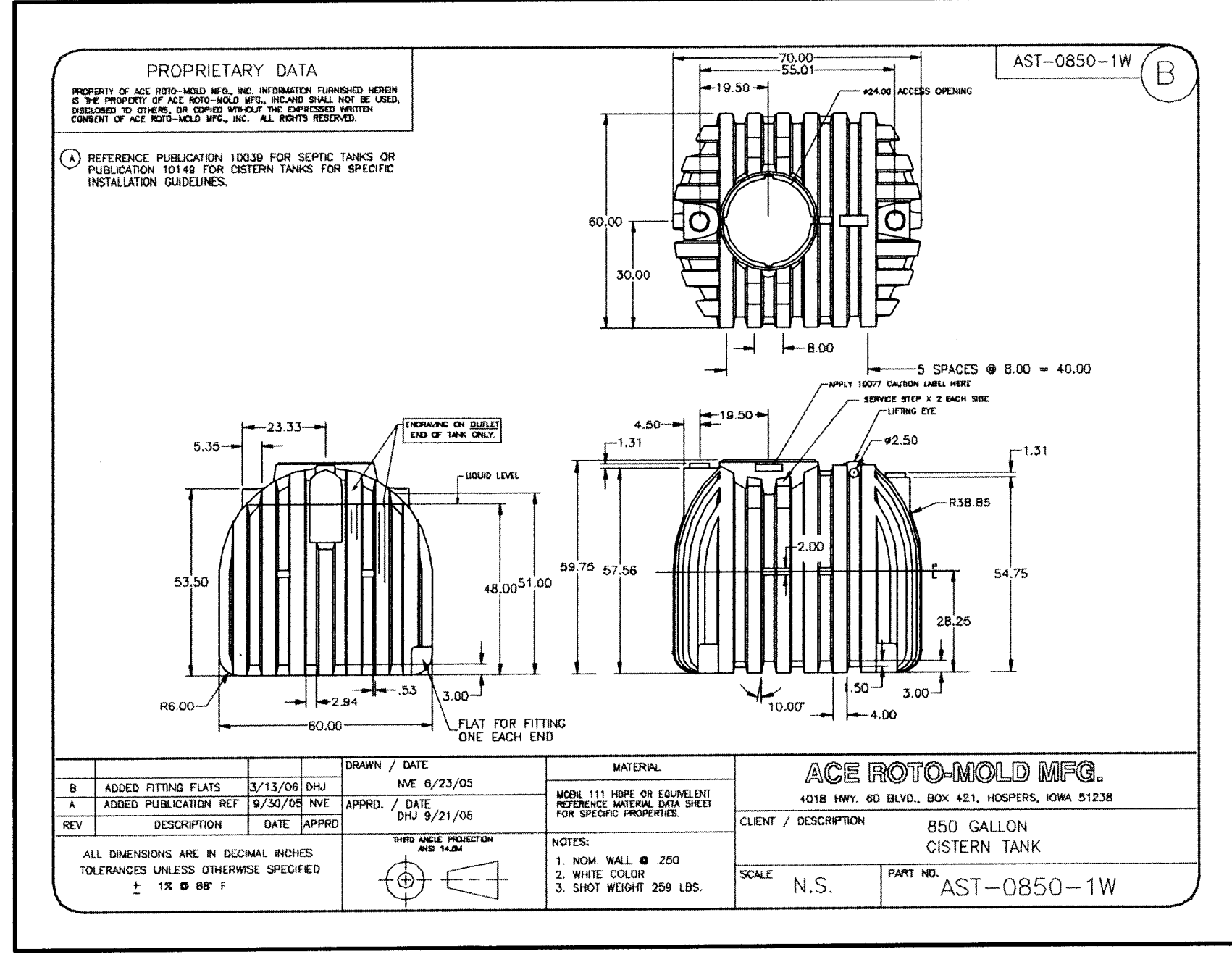
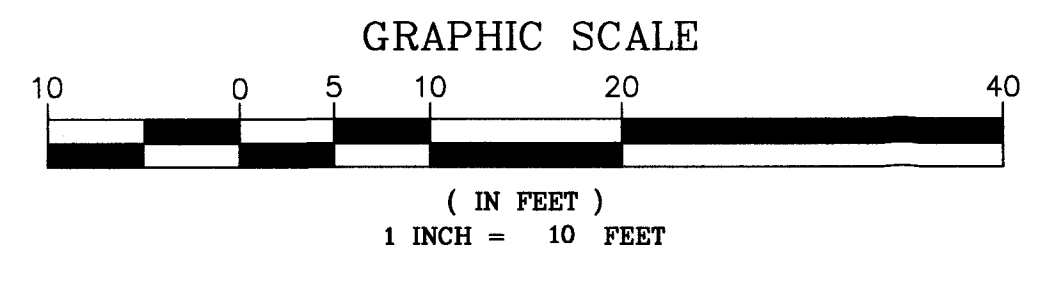
- EXCAVATION NOTES:**
CUT 100 YD³
FILL 0 YD³
- LEGEND:**
- EXISTING PROPERTY FOR LOT 24 & 31
 - EXISTING PROPERTY LINES
 - DIRECTION OF DRAINAGE PIPE
 - PROPERTY LINE BEING REMOVED
 - MONUMENT LINE
 - FENCE
 - EDGE OF PAVEMENT
 - OUTLINE OF BUILDING
 - GRASS AREA
 - PLANTS
 - CATCH BASIN



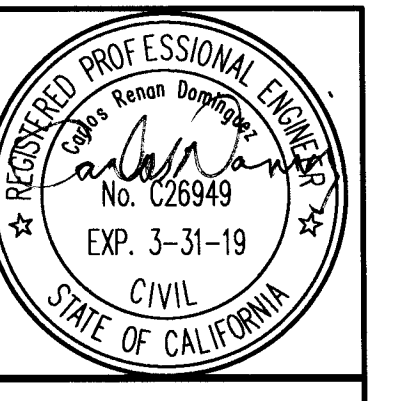
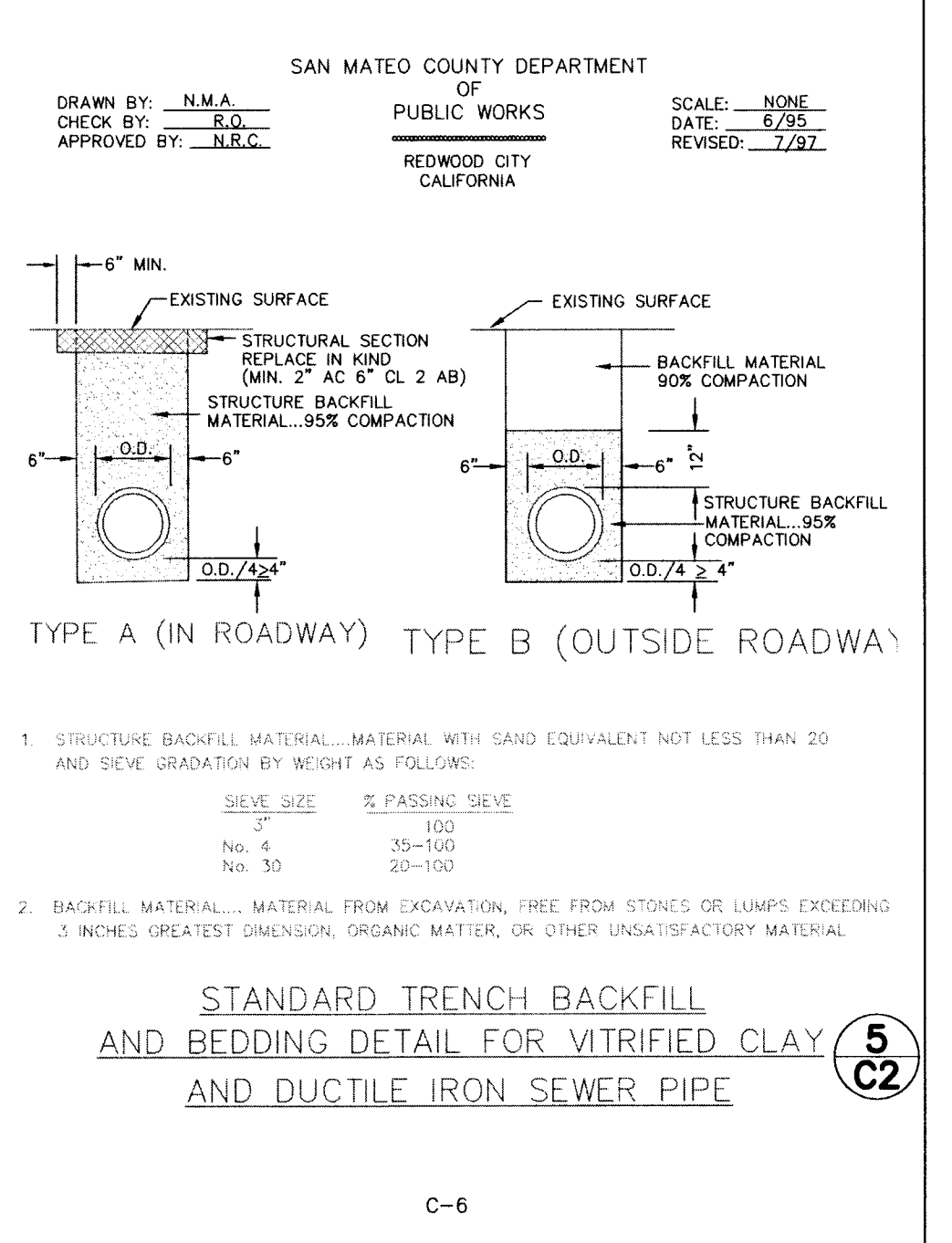
PIPE KEY			
KEY	TYPE	LENGTH	SLOPE
1	4" φ PIPE LINE PVC SDR 35	40.50'	7%
2	4" φ PIPE LINE PVC SDR 35	31.50'	10%
3	4" φ PIPE LINE PVC SDR 35	25.00'	7%
4	4" φ PIPE LINE PVC SDR 35	27.00'	2%
5	4" φ PIPE LINE PVC SDR 35	16.50'	4%
6	4" φ PIPE LINE PVC SDR 35	11.00'	2%
7	4" φ PIPE LINE PVC SDR 35	9.00'	5%
8	4" φ PIPE LINE PVC SDR 35	26.00'	7%
9	4" φ PIPE LINE PVC SDR 35	31.50'	2%
10	1 1/2" φ PVC SCH 80	18.50'	N/A
11	4" φ PIPE LINE PVC SDR 35	10.00'	10%



DRAINAGE PLAN
SCALE: 1 IN. = 10 FT.



850 GALLON CISTERN TANK (4) C2

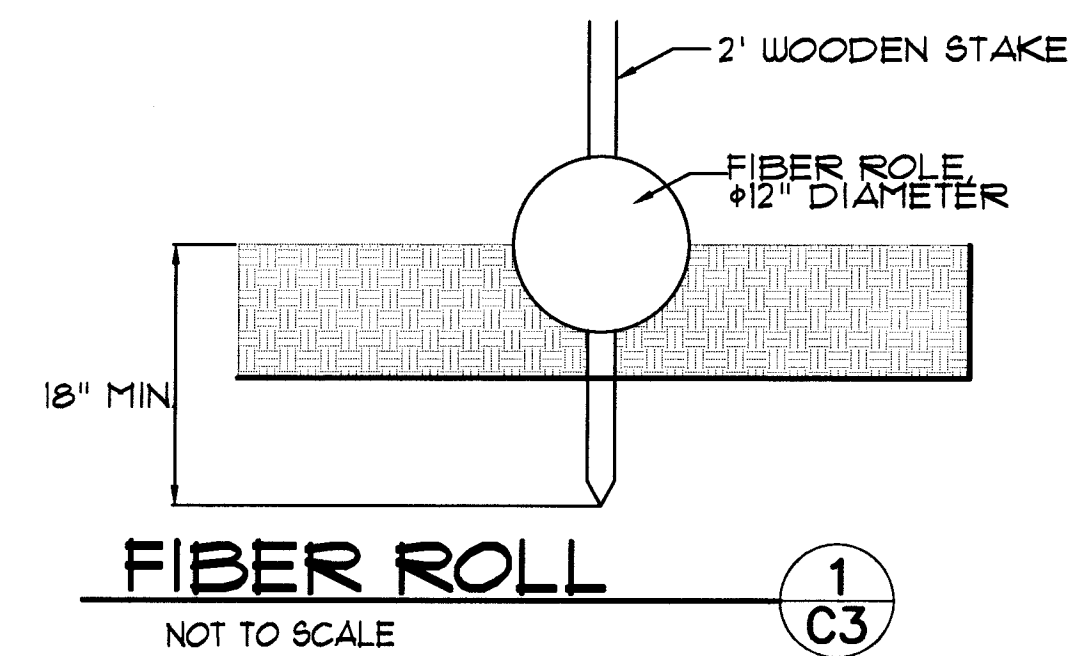
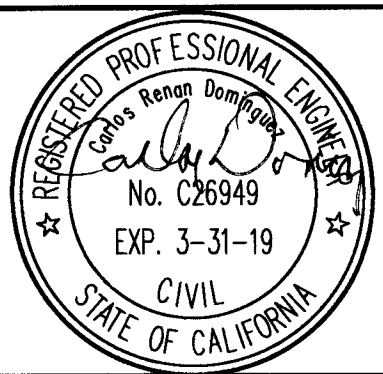


NEW EROSION AND DRAINAGE PLAN FOR HILLHOUSE RESIDENCE
207 PALMA STREET, EL GRANADA

REVISION	
NO.	DATE
1	5-3-18
2	8-29-18

SCALE
SHEET NUMBER
C2
OF SHEETS
DATE 3-14-18
FILE HIL 1645

DOMINGUEZ ASSOCIATES LLC
40 HUMBOLDT COURT
PACIFICA, CA 94044
(650) 359-0947 E-MAIL: CARLOS@GMAIL.COM



EROSION CONTROL NOTES

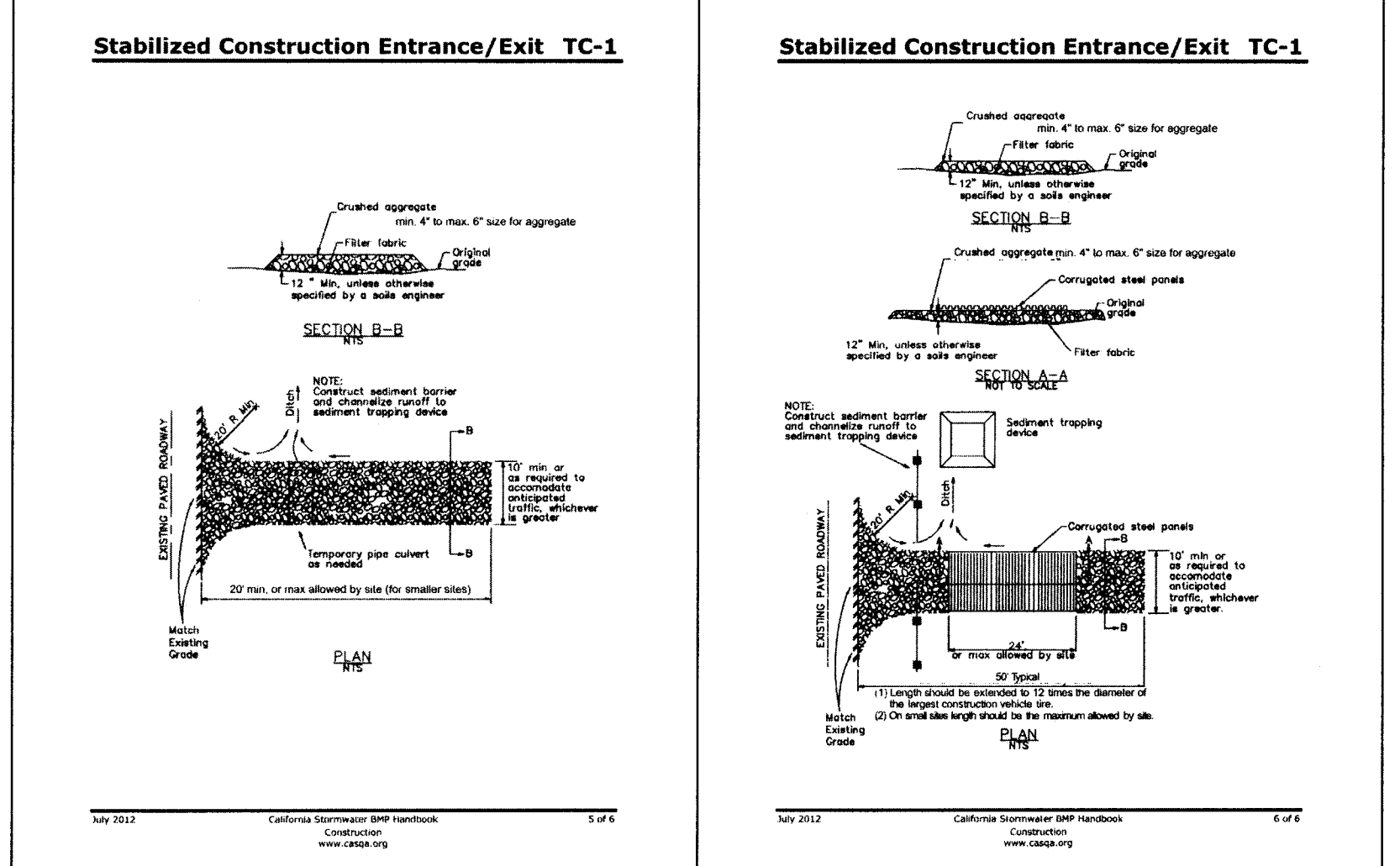
FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL 2/C2

FOR CONSTRUCTION DURING DRY SEASON, ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST.

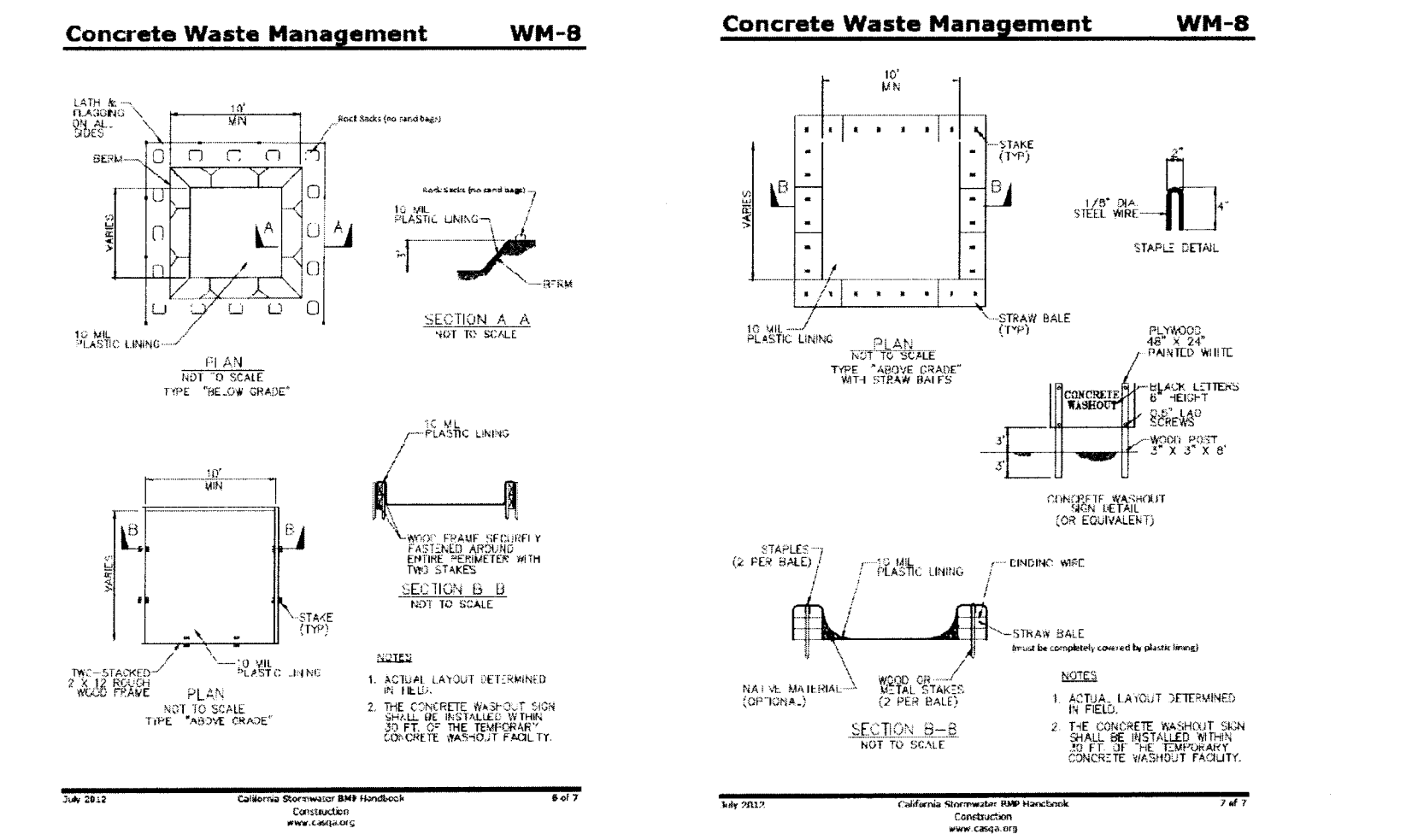
BETWEEN OCT 15 AND APRIL 15 ALL EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION SHALL CONSIST OF COIR LOGS, AS SHOWN.

ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN.

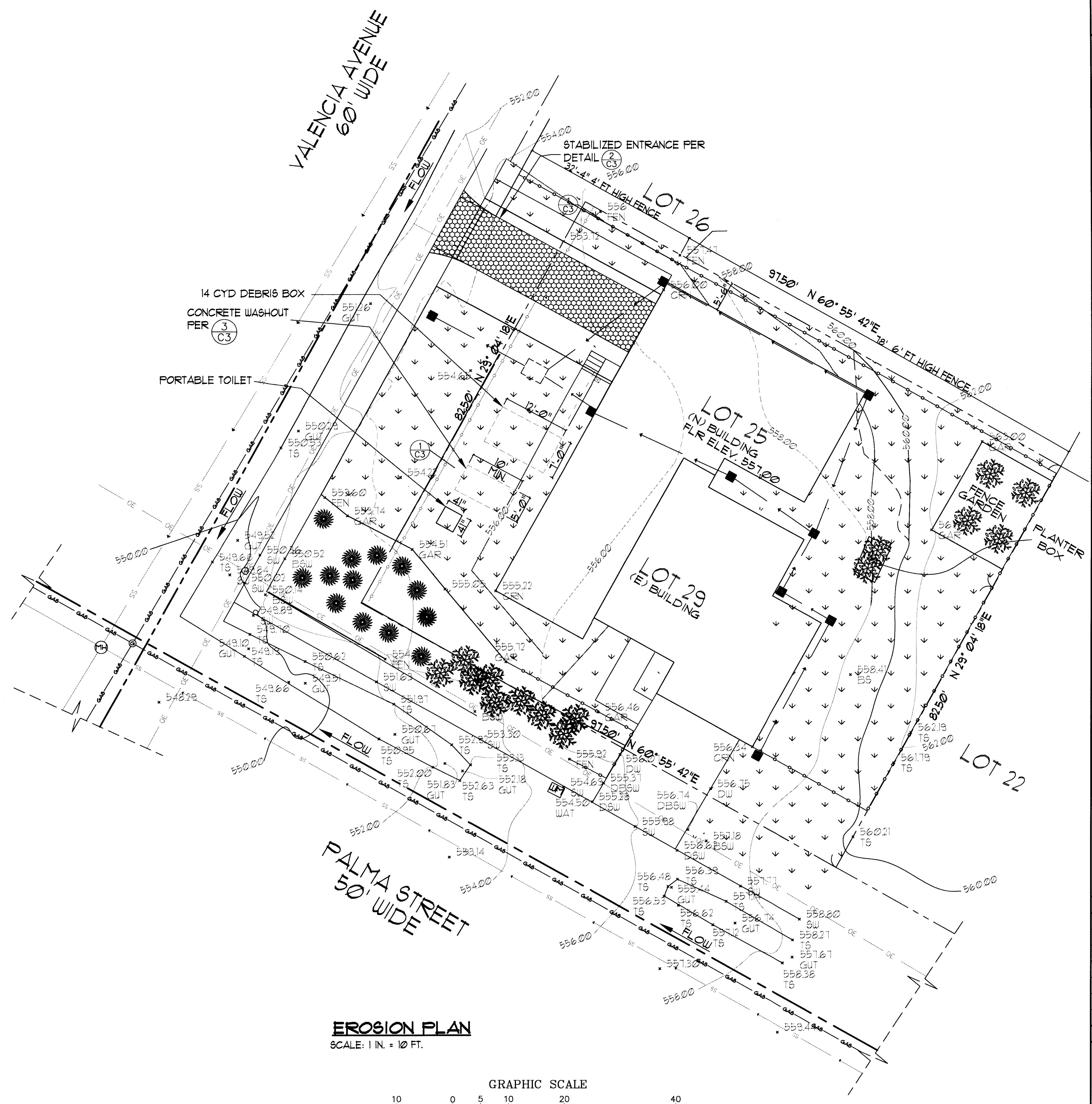
BEFORE COMPLETION OF PROJECT ALL EXPOSED OR DISTURBED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION, USING JUTE NETTING AND/OR SEED.



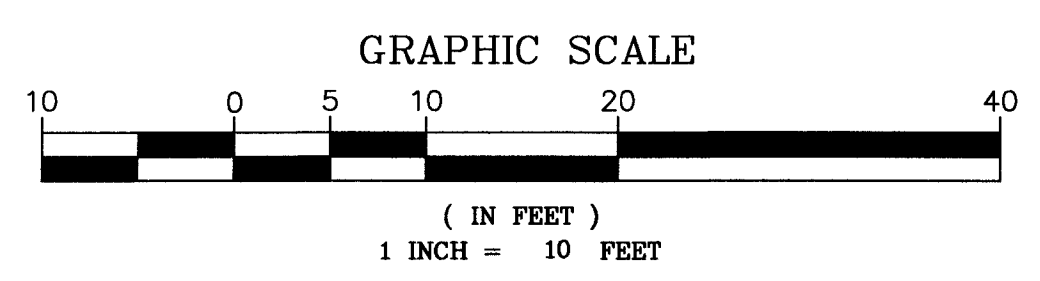
2 C3 STABILIZED CONSTRUCTION ENTRANCE



3 C3 CONCRETE WASTE MANAGEMENT



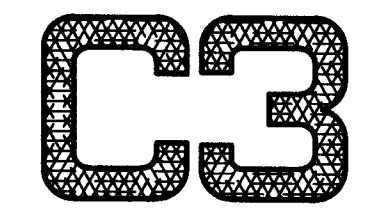
EROSION PLAN
SCALE: 1 IN. = 10 FT.



NEW EROSION AND DRAINAGE PLAN FOR HILLHOUSE RESIDENCE
 207 PALMA STREET, EL GRANADA
 DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT
 PACIFICA, CA. 94044
 (650) 359-0947 E-MAIL: CARLOS@SANFRANWAL.COM

REVISION	
NO.	DATE
△	5-3-18
△	8-29-18

SCALE
SHEET NUMBER



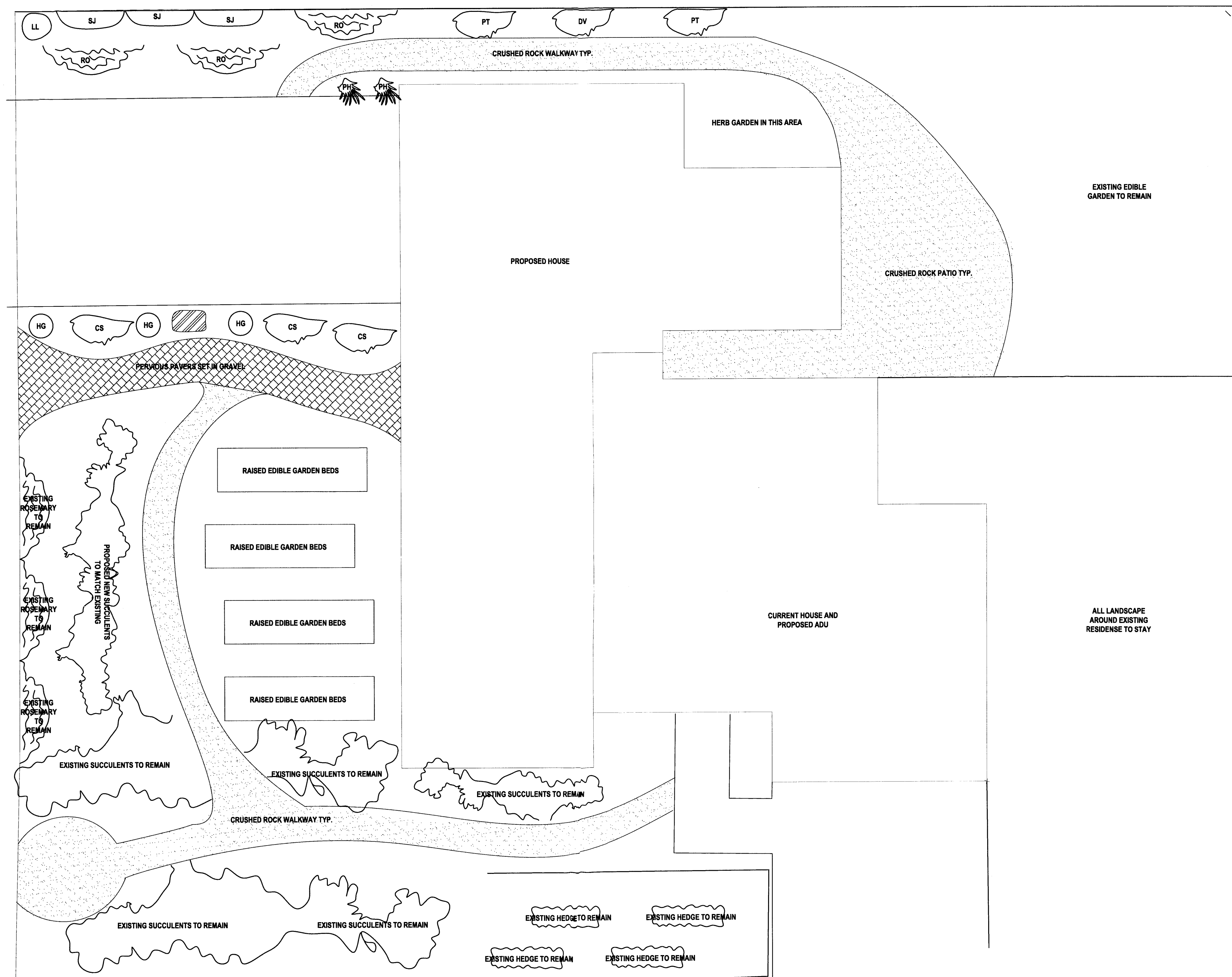
OF SHEETS
DATE 3-14-18
FILE HIL 1645

REVISIONS	DATE	BY
-	-	-



DOUG MACHADO
PO BOX 2902
EL GRANADA, CA
850-726-1408
midcoastconsult@gmail.com

HILLHOUSE RESIDENCE
207 PALMA STREET, EL GRANADA, CA.
APN: 047-287-260



TREES AND LARGE SHRUBS

BOTANICAL NAME	COMMON NAME	QTY
DV-DODONEA VISCOSA (PURPUREA)	HOP BUSH	1
PT-PITTOSPORUM TENUIFOLIUM	KOHUHU	2
LL-LEPTOSPERMUM SCOPARIUM (RUBY GLOW)	AUSTRALIAN TEA TREE	1

VINES

BOTANICAL NAME	COMMON NAME	QTY
SJ-SOLANUM JASMINOIDES	PATATO VINE	3

SHRUBS AND GROUND COVER

BOTANICAL NAME	COMMON NAME	QTY	SIZE
CS-CISTUS SALVIFOLIUS OR HYBRIDUS	ROCK ROSE (WHITE)	3	1 GAL
HG-HEBE GLAUCOPHYLLA	LEMON & LIME	3	1 GAL
PH-PHORMIUM TENAX	MADRI SUNRISE	2	1 GAL
RO-ROSMARINUS OFFICINALIS	TUSCAN BLUE	3	1 GAL

NOTE: ALL PLANTER AREAS TO BE COVERED WITH 3" OF MULCH
NOTE: ALL NEW PLANTS TO BE HAND WATER UNTIL ESTABLISHED.

LANDSCAPE PLAN
SCALE: 3/16" = 1'-0"

SHEET TITLE:
LANDSCAPE PLAN

SCALE: AS SHOWN

DATE: 01-17-2018

SHEET NO.

L-1