



## County of San Mateo Planning & Building Department Agricultural Advisory Committee

BJ Burns  
Koren Widdel  
Jess Brown  
Jim Howard

John Vars  
Judith Humburg  
Laura Richstone  
Lauren Silberman

Louie Figone  
Frank McPherson  
Robert Marsh  
Ron Sturgeon

William Cook  
Cynthia Duenas  
Peter Marchi  
Natalie Sare

County Office Building  
455 County Center, 2<sup>nd</sup> Floor  
Redwood City, California 94063  
650/363-1829  
Fax: 650/363-4849

### Regular Meeting

**\*\*BY VIDEOCONFERENCE ONLY\*\***

**Date: Monday July 13, 2020**  
**Time: 7:00 p.m. to 9:00 p.m.**  
**Place: Virtual Meeting due to COVID-19 Shelter in Place Order**

Pursuant to the Shelter in Place Orders issued by the San Mateo County Health Officer and the Governor, the Governor's Executive Order N-29-20, and the CDC's social distancing guidelines which discourage large public gatherings, the Half Moon Bay Public Library is no longer open to the public for Agricultural Advisory Committee meetings.

#### **\* PUBLIC PARTICIPATION**

##### **Written Comments:**

Members of the public may provide written comments by email to [LRichstone@smcgov.org](mailto:LRichstone@smcgov.org) and should include the specific agenda item on which you are commenting, or note that your comment concerns an item that is not on the agenda.

The length of the emailed comment should be commensurate with the 5 minutes customarily allowed for verbal comments, which is approximately 300-400 words. To ensure your comment is received and read into the record for the appropriate agenda item, please submit your comments no later than 5:00 p.m. the day before the meeting. The County will make every effort to read emails received after that time, but cannot guarantee such emails will be read into the record. Any emails received after the deadline which are not read into the record will be provided to the Committee after the meeting and become part of the administrative record.

Individuals who require special assistance or a disability-related modification or accommodation to participate in this meeting, or who have a disability and wish to request an alternative format for the agenda, meeting notice, agenda packet, or other writings that may be distributed at the meeting should contact Laura Richstone, the Planning Liaison, by 10:00 a.m. on the Friday before the meeting at [LRichstone@smcgov.org](mailto:LRichstone@smcgov.org). Notification in advance of the meeting will enable the County to make reasonable arrangements to ensure accessibility to this meeting, the materials related to it, and your ability to comment.

##### **Virtual Meeting/Spoken Comments**

Spoke public comments will be accepted during the meeting through Zoom. **Please read the following instructions carefully:**

1. The July 13, 2020 Agricultural Advisory meeting may be accessed through Zoom online at the **link** <https://smcgov.zoom.us/j/98913462433>. The **meeting ID** is: 989 1346 2433. The meeting may also be accessed via telephone by dialing +1 669-900-6833 (Local). Enter the meeting ID: 931 8347 8974, then press #. (To find your local number: <http://smcgov.zoom.us/u/admSDqceDg>).
2. You may download the Zoom client or connect to the meeting using an internet browser. If using your browser, make sure you are using a current, up to date browser: Chrome 30+, Firefox 27+, Microsoft Edge 12+, Safari 7+. Certain functionalities may be disabled in older browsers including internet explorer.
3. You may be asked to enter an email address and name. We request that you identify yourself by name as this will be visible online and will be used to notify you that it is your turn to speak.
4. When the Committee calls for the item on which you wish to speak, click on “raise hand” or \*9 if calling in on a phone. The Secretary will activate and unmute speakers in turn. Speakers will be notified shortly before they are called to speak.
5. When called, please limit your remarks to the time limit allotted.

**MATERIALS PERSENTED FOR THE MEETING:**

Applicants and members of the public are encouraged to submit materials to the Agricultural Advisory Committee. All materials (including but not limited to models and pictures) submitted on any item on the agenda are considered part of the administrative record for that item, and must be retained by the Committee Secretary. If you wish to retain the original of an item, a legible copy must be left with the Committee Secretary.

**AGENDAS AND STAFF REPORTS ONLINE:**

To view the agenda, please visit our website at <https://planning.smcgov.org/agricultural-advisory-committee>. Staff reports will be available on the website one week prior to the meeting. For further information on any item listed below please contact the corresponding Project Planner indicated.

**CORRESPONDENCE TO THE COMMITTEE:**

Laura Richstone, Agricultural Advisory Committee Liaison  
455 County Center, 2<sup>nd</sup> Floor  
Redwood City, CA 94062  
Phone: 650/363-1829  
Facsimile: 650/363-4849  
Email: [LRichstone@smcgov.org](mailto:LRichstone@smcgov.org)

**NEXT MEETING:**

The next regularly scheduled Agricultural Advisory Committee meeting will be held on August 10, 2020.

**AGENDA**  
**7:00 p.m.**

1. **Call to Order**
  2. **Member Roll Call**
  3. **Oral Communications** to allow the public to address the Committee on any matter not on the agenda. If your subject is not on the agenda, the Chair will recognize you at this time.
  4. **Committee Member Update(s) and/or Questions** to allow Committee Members to share news and/or concerns for items not on the agenda.
- 

**REGULAR AGENDA**

5. **Owner/Applicant:** **John Cozzolino**  
File Number: PLN 2020-00132  
Location: 12009 San Mateo Road, Half Moon Bay  
Assessor's Parcel No. 056-331-110

Consideration of an Agritourism Event Permit for the Cozzolino's upcoming 2020 pumpkin season to include a pumpkin patch, pony ride, petting zoo, two inflatables, and one food vendor. Parking will occur on an existing gravel parking lot to the west of the property. Proposed days and hours of operation are as follows: October 1, 2020 to November 15, 2020; Monday through Saturday from 9:00 a.m. to 5:00 p.m. and every Sunday from 9:00 a.m. to 6:00 p.m. Please direct any questions to Project Planner Tiare Peña at [TPena@smcgov.org](mailto:TPena@smcgov.org).

---

6. **Owner:** **Henry Lowman**  
**Applicant:** **Bruce Turner**  
File Number: PLN 2019-00366  
Location: 400 San Juan Avenue, El Granada  
Assessor's Parcel No. 047-117-010

Consideration of a Coastal Development Permit, Planned Agricultural Development Permit and Grading Permit for a major addition to add 2,009 sq. ft. to an existing 3,352 sq. ft. single-family dwelling. The project involves 555 cubic yards of grading, to include 505 cubic yards of cut and 50 cubic yards of fill. No trees are proposed for removal. The project is located within the Highway 1 County scenic corridor and is associated with County File Numbers: PRE 2017-00027 and BLD 2019-01871. The project is NOT appealable to the Coastal Commission. Please direct any questions to Project Planner Bryan Albini at [BAlbini@smcgov.org](mailto:BAlbini@smcgov.org).

---

7. **Committee Discussion and Update** on current COVID-19 pandemic, potential policies needed to protect local agricultural and water from contamination, how the pandemic may affect local food supply, and access to farm labor.
8. **Consideration of the Action Minutes** for the June 8, 2020 regular meeting.

**9. Community Development Director's Report**

**10. Adjournment**

---

Agricultural Advisory Committee meetings are accessible to people with disabilities. Individuals who need special assistance or a disability-related modification or accommodation (including auxiliary aids or services) to participate in this meeting; or who have a disability and wish to request an alternative format for the agenda, meeting notice, agenda packet or other writings that may be distributed at the meeting, should contact the County Representative at least five (5) working days before the meeting at (650) 363-1829, or by fax at (650) 363-4849, or e-mail LRichstone@smcgov.org. Notification in advance of the meeting will enable the Committee to make reasonable arrangements to ensure accessibility to this meeting and the materials related to it.



**ROLL SHEET – February 2020**  
 Agricultural Advisory Committee Attendance 2019-2020

	July	Aug	Sept	Oct.	Nov	Dec.	Jan	Feb	Mar	Apr	May	May*	June	July
<b>VOTING MEMBERS</b>														
Judith Humburg** Public Member			X		X		X		X	X	X	X	X	
BJ Burns Farmer, Vice Chair			X		X		X		X	X	X	X	X	
Natalie Sare* Farmer			X		X	X	X	X	X	X		X	X	
Louie Figone Farmer			X		X	X		X	X		X	X		
Cynthia Duenas** Public Member			X		X	X		X	X	X	X		X	
John Vars Farmer			X				X	X	X	X	X	X	X	
William Cook Farmer			X		X	X	X			X	X	X	X	
Peter Marchi** Farmer			X		X	X	X	X	X	X	X		X	
Robert Marsh Farmer, Chair			X		X	X	X	X	X			X		
Ron Sturgeon Conservationist			X		X		X	X	X	X	X		X	
Lauren Silberman Ag Business					X	X	X	X	X	X	X	X	X	
Natural Resource Conservation Staff Jim Howard														
San Mateo County Agricultural Commissioner Koren Widdel			X		X	X	X		X		X	X	X	
Farm Bureau Executive Director Jess Brown			X		X			X	X	X	X	X	X	
San Mateo County Planning Staff Laura Richstone										X	X		X	
UC Co-Op Extension Representative Frank McPherson							X			X	X	X		

**X: Present**

**Blank Space: Absent or Excused**

**Grey Color: No Meeting**

**\* Special Meeting**

**\*\* As of 06/25/2019**



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ITEM**

**5**

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** July 13, 2020

**TO:** Agricultural Advisory Committee

**FROM:** Tiare Pena, Planning Staff, 650/363-1850

**SUBJECT:** Consideration of an Agritourism Event starting on October 1, 2020 and ending on November 15, 2020, located at 12291 San Mateo Road, unincorporated Half Moon Bay (4-C's Pumpkin Farm).

County File Number: PLN2020-00132 (Cozzolino)

**PROPOSAL**

The applicant, Cozzolino, has applied for an Agritourism Event for the upcoming 2020 October pumpkin selling season, October 1, 2020 – November 15, 2020, at 12291 San Mateo Road, unincorporated Half Moon Bay (4-C's Pumpkin Farm). The proposed days and hours of operation are as follows: Monday – Friday from 9:00 a.m. to 5:00 p.m. and Saturday – Sunday from 9:00 a.m. to 6:00 p.m. The proposed Event elements are: 1) a pumpkin patch, pony ride, petting zoo, two inflatables, and 2) one food vendor. The food vendor will be onsite during weekends only.

Parking for the Event will occur in the existing large open field adjacent to the Event area and in the gravel parking lot between these two fields. There will be 2-4 employees on the site, consisting primarily of Cozzolino family members.

**DECISION MAKER**

Community Development Director

**QUESTIONS FOR THE AGRICULTURAL ADVISORY COMMITTEE (AAC)**

1. Is the agritourism use compatible with the long-term agricultural uses of the land?
2. Will the agritourism operation have any adverse effect on surrounding agricultural uses? If so, can any conditions of approval be recommended to minimize any such impact?
3. What decision do you recommend the Community Development Director take with respect to this application?

**BACKGROUND**

Report Prepared By: Tiare Pena, Project Planner

Owner/Applicant: John and Jennifer Cozzolino

Location: 4-C's Pumpkin Farm, 12291 San Mateo Road, unincorporated Half Moon Bay

APN: 056-331-110

Parcel Size: 3.57 acres

Existing Zoning: Planned Agricultural District/Coastal Development

General Plan Designation: Agriculture

Local Coastal Plan Designation: Agriculture

Williamson Act: The subject parcel is encumbered by a Williamson Act contract (AP 72-18).

Existing Land Use: Agriculture

Water Supply: Private well

Flood Zone: Flood Zone A (1% annual chance of flooding) and Flood Zone X (area of minimal flooding), pursuant to Federal Emergency Management Agency, Flood Insurance Rate Map, Community Panel 06081C0260E, effective October 12, 2016.

Environmental Evaluation: Categorically exempt from environmental review pursuant to Section 15304, Class 4, of the California Environmental Quality Act (CEQA) Guidelines, for the minor temporary use of land having negligible or no permanent effects on the environment.

Setting: The subject site is located on the south side of San Mateo Road, also known as California Highway 92, and is visible from the roadway. The site is quaint and provides the public with the first view of San Mateo County's rich history of agriculture, and demonstrates how the County respects and encourages small family farms to succeed.

Chronology:

Date

Action

September 2018 - Application for Agritourism Event received and recommended for approval by the AAC.

- October 2019 - Application for Agritourism Event received and recommended for approval by the AAC.
- April 3, 2020 - Subject application for Agritourism Event received.
- July 13, 2020 - Agricultural Advisory Committee public meeting.

*Will the project be visible from a public road?*

Yes, the project site is visible from San Mateo Road/Highway 92; however, the Event is secondary and supplemental to ongoing agricultural use of the land, and as a seasonal event not uncharacteristic for the area.

*Will any habitat or vegetation need to be removed for the project?*

No.

*Is there prime soil on the project site?*

Yes, there are prime soils interspersed throughout the site.

## **DISCUSSION**

### **A. KEY ISSUES**

Planning staff has reviewed this application for conformance with the following Agritourism Guidelines and Performance Standards:

#### **1. Temporary Seasonal Agritourism Uses and Activities**

- a. The Agritourism operation will not interfere with agricultural production on or adjacent to the lot.

The Agritourism Event does not interfere with the agricultural use of the land, which includes the growing of hay, pumpkins and Christmas trees.

- b. The Agritourism event will not exceed a maximum of 45 consecutive days and will not occur more than two times per year.

The proposed Agritourism Event is for the October 1, 2020 - November 15, 2020 (typical) pumpkin season.

- c. The Agritourism event will operate within the guideline's allowance of Sunday through Saturday from 9:00 a.m. to sunset; no lighting is

allowed.

The Event will operate Monday – Friday from 9:00 a.m. to 5:00 p.m. and Saturday – Sunday from 9:00 a.m. to 6:00 p.m. No lighting is proposed in association with the Event; therefore, the proposal meets these requirements.

- d. The Agritourism event will consist of no more than the maximum allowed uses and activities indicated below:

Maximum Allowed Agritourism Use/Activity	Proposed (Quantity)
Two (2) inflatables <sup>1</sup> allowed on all lands <sup>2</sup>	2
One (1) pony ride area <sup>3</sup>	1
One (1) farm animal petting zoo on all lands	1
One (1) hayride on all lands	
One (1) train with rubberized wheels on all lands	
One (1) food vendor, mobile or on-site, including mobile prepackaged food/snack bar <sup>4</sup> , located on all soils	1
One (1) prepackaged food/snack bar on non-prime soils <sup>4</sup>	
Other recreational/educational activities, see discussion below	
<sup>1</sup> Inflatables are subject to the standards of the Safe Inflatable Operators Training Organization. <sup>2</sup> Subject to a 36-foot height limit as set forth in the Planned Agricultural District and Resource Management District Regulations. <sup>3</sup> Confined animal permit or exemption required. <sup>4</sup> Environmental Health Permit required.	

2. Performance Standards for Seasonal Agritourism Uses and Activities

- a. Adequate on-site parking is provided, as designated on the attached site plan, including conformance with applicable provisions from Local Coastal Program Policy 10.22 (*Parking*) for adequate parking facilities to accommodate the temporary seasonal uses that are appropriate for the site’s size, environmental sensitivity, and amount of land suitable for parking; and that are not visually prominent from public views.

There are approximately 50 unmarked spaces located on the adjacent large open field and on the existing graveled section of the parcel that will be used for Event parking; these areas have been used in past years for this annual pumpkin season Event at the property. While

these areas are visible from San Mateo Road/Highway 92, the spaces are purposely unmarked to keep with the natural and rural setting of the site.

- b. Any new signage will be temporarily established and maintained throughout the duration of the Agritourism event, as allowed pursuant to Local Coastal Program Policy 8.21 (*Commercial Signs*), will be simple and easy to read, and will not be brightly illuminated colored, rotating, reflective, blinking, flashing or moving signs, pennants, or streamers.

One painted wood sign for the 4-C's farm, located at the entrance to the farm, will be used throughout the duration of the Event. The wood sign blends with the natural environment and rural feel of the farm.

- c. All Agritourism uses and activities shall meet the current standards for setbacks and buffers from watercourses, including creeks, and/or riparian vegetation.

All uses associated with the Agritourism Event will be located on the opposite side of an existing access road separating the Event area from nearby Pilarcitos creek and its natural habitat.

- d. On parcels under forty (40) acres in size, all agritourism elements shall be clustered and shall consume no more than one (1) gross acres (excluding hayrides or trains with rubberized wheels); parking is excluded from this acreage calculation.

The proposal meets these requirements.

- e. The agritourism operation shall not involve any land disturbance, including import of gravel or fill.

No land disturbance is necessary to accommodate the Event.

### 3. Compliance with the Williamson Act

The project parcel was placed under Williamson Act contract in 1972 (County File No. AP 72-18) and currently remains under contract. Pursuant to the County's Williamson Act regulations, compatible uses include those uses that are incidental to and will not interfere with existing or potential agricultural productivity on the property or in the surrounding area.

The proposed Agritourism Event is secondary and supplemental to existing agricultural use of the land. The proposed Event will comprise less than 1 acre of the 3.57-acre parcel. The Agritourism Event will not interfere, hinder

or impair existing ongoing agricultural use or operations, or the potential for future agricultural use, on the subject parcel or surrounding parcels.

Therefore, staff considers the proposed seasonal Agritourism Event to be a compatible use to existing ongoing primary agricultural use of the parcel, and thus, in compliance with the Williamson Act.

4. Recommended Findings for the Agritourism Event

- a. That the agritourism use is compatible with the long-term agricultural uses of the land as 4-C's grows the pumpkins onsite with the proceeds from the Agritourism Event including pumpkin sales, supporting the economic viability of the farm.
- b. That the agritourism operation will not adversely affect the health or safety of persons in the area and will not be materially detrimental to the public welfare or injurious to agricultural property. The farming activity and Agritourism Event is primarily operated by family members. Staff has evaluated the Event proposal and finds there will be no negative impacts on the agricultural uses of the land. Staff believes that use of the land for the proposed seasonal Event is of a greater benefit than letting the land lay fallow. Further, the applicant is responsible for following any restrictions set forth through State and County Health Orders related to COVID-19, including but not limited to social distancing protocols and health and safety plan requirements applicable to the Event.
- c. That the agritourism operation is in substantial conformance with the goals set forth in the San Mateo County Agritourism Guidelines. Specifically, the operation is secondary and supplemental to existing agricultural operation on the land.
- d. That the proposed use and activities comply with all relevant provisions of the General Plan, Local Coastal Program, Zoning Regulations, and Williamson Act as discussed throughout this report.

**ATTACHMENTS**

- A. Vicinity Map
- B. Prime Soils Map
- C. Site Plan

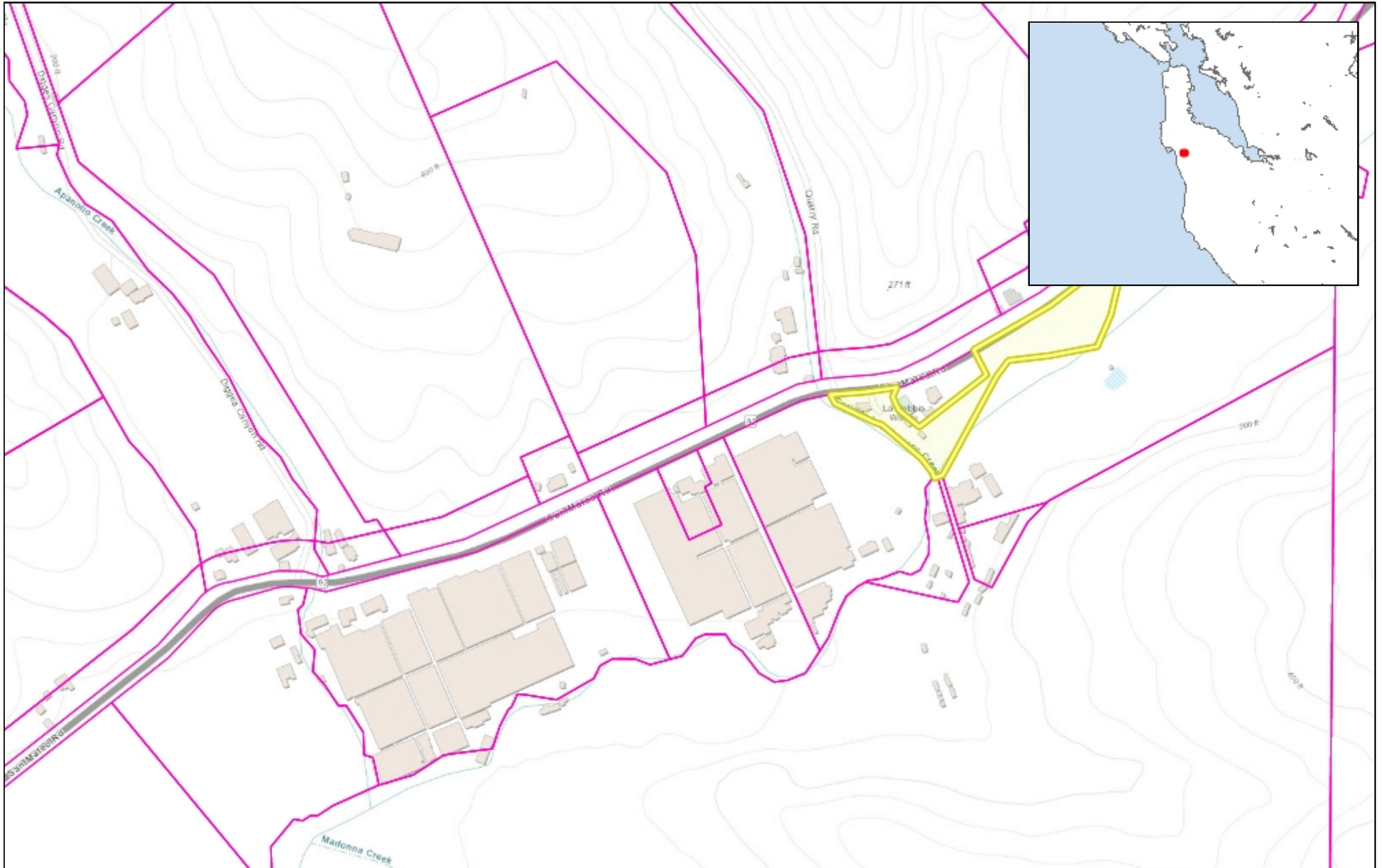
\_ACC Agritainment Event SR (5-27-20).dotx






**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT A**



0.23 0 0.12 0.23 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:7,295 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

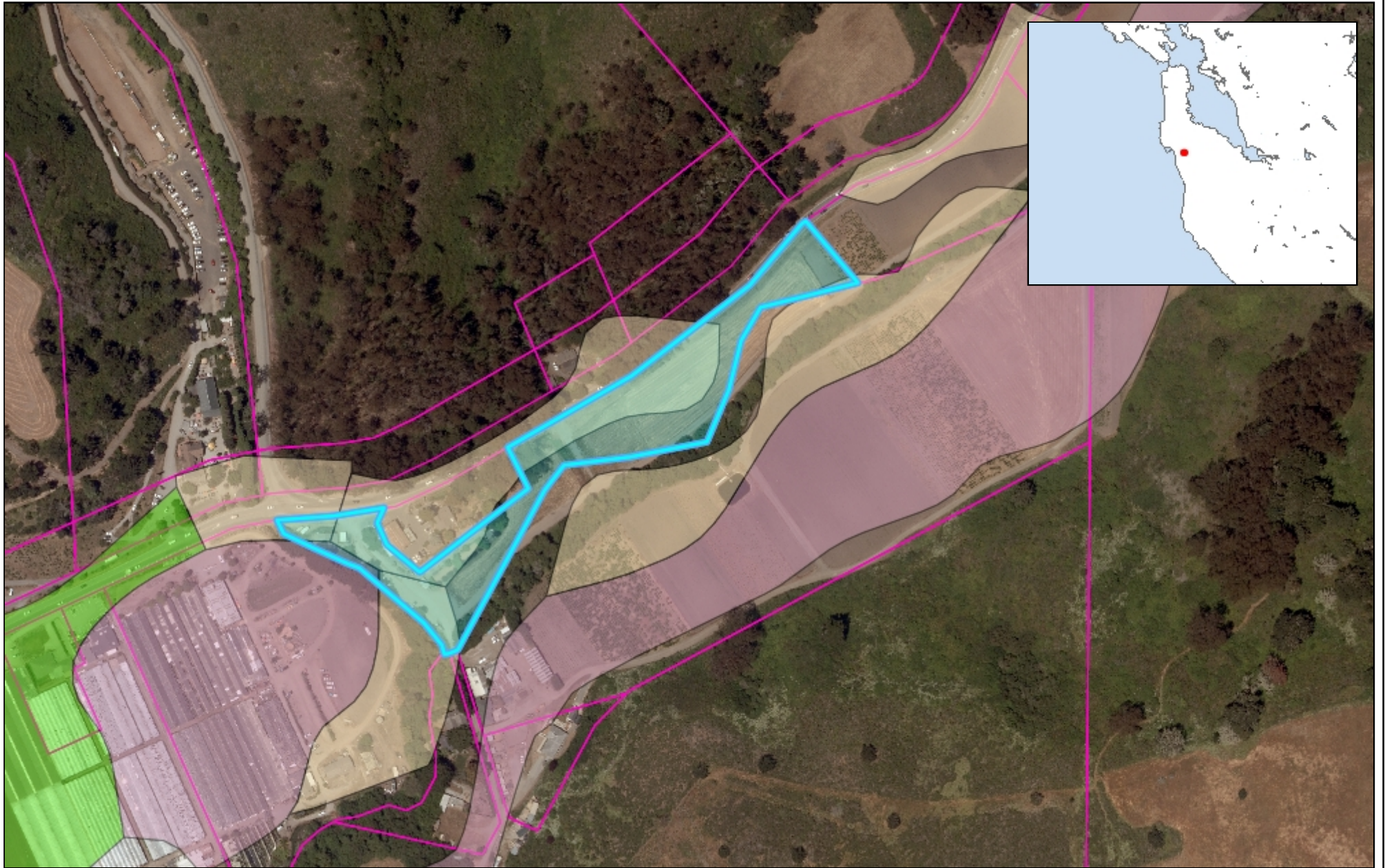
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT B**





0.14 0 0.07 0.14 Miles

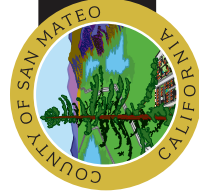
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:4,514



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

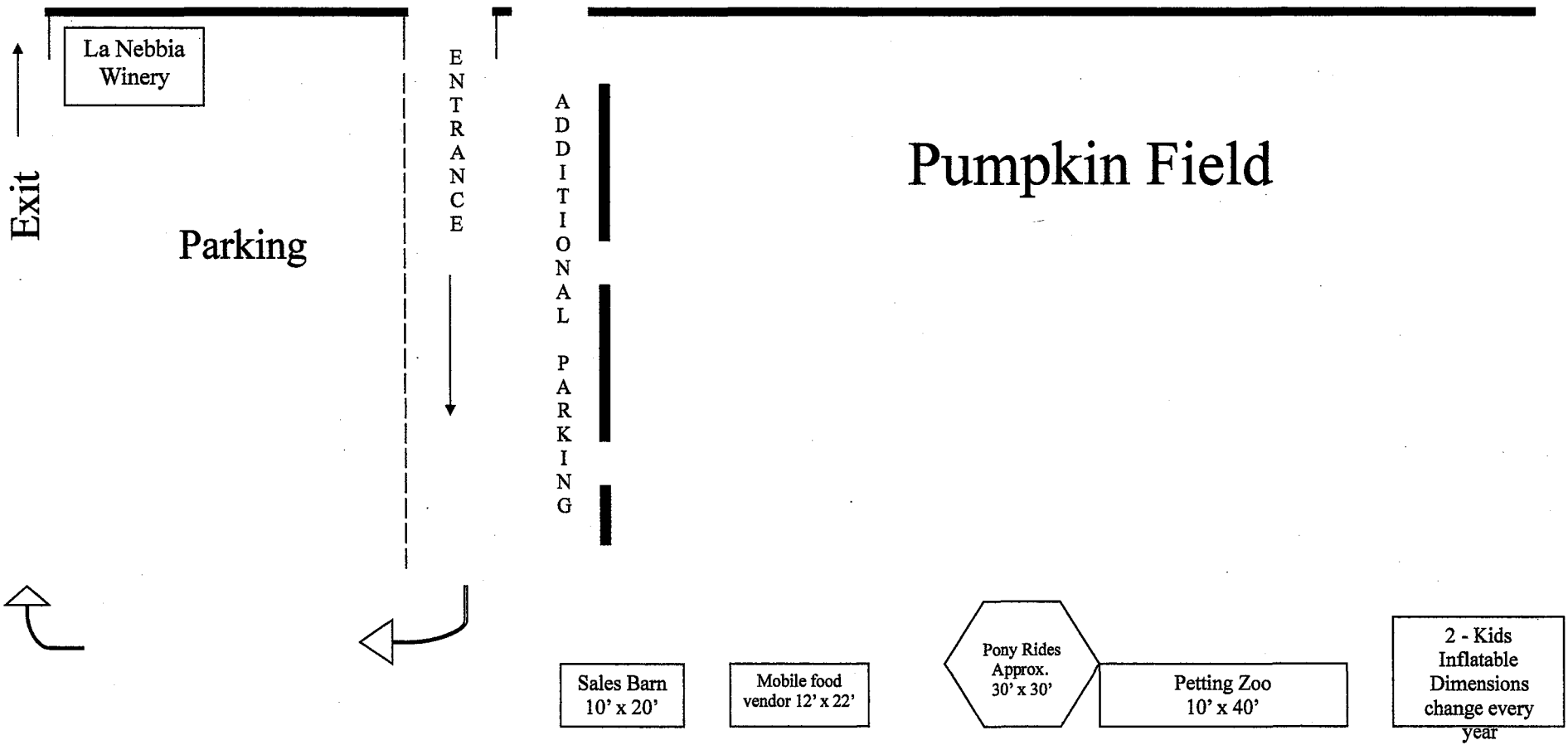


**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT C**

2020 4-C's Pumpkin Farm Layout

HWY 92





**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ITEM**

**6**

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** July 13, 2020

**TO:** Agricultural Advisory Committee

**FROM:** Bryan Albin, Planning Staff, 650/363-1807

**SUBJECT:** Consideration of a Planned Agricultural District Permit, Coastal Development Permit, and Grading Permit for a 2,005 sq. ft. addition to an existing 3,352 sq. ft. single-family residence and 555 cubic yards of grading on a 1.24-acre parcel, located at 400 San Juan Avenue within the unincorporated El Granada community of San Mateo County. No trees are proposed for removal. The project is not appealable to the California Coastal Commission.

County File Number: PLN 2019-00366 (Lowman/Turner)

**PROPOSAL**

The applicants propose a Planned Agricultural District (PAD) Permit, Coastal Development Permit, and Staff-Level Grading Permit to add 2,005 sq. ft. to an existing 3,352 sq. ft. residence, which requires 505 cubic yards (c.y.) of excavation and 50 c.y. of fill to accommodate the addition. The 1.24-acre subject parcel does not contain prime soils, nor is it directly adjacent to active agricultural activity. No tree removal has been proposed.

**DECISION MAKER**

Planning Commission

**QUESTIONS FOR THE AGRICULTURAL ADVISORY COMMITTEE**

For the Planned Agricultural District (PAD) Permit

1. Will the development, including the two-story residential addition within the unincorporated County area, have any negative effect on surrounding agricultural uses? If so, can any conditions of approval be recommended to minimize any such impact?
2. What position do you recommend that Planning staff take with respect to the application for this project?



**BACKGROUND:**

Report Prepared By: Bryan Albini, Project Planner

Owner: Dr. Henry Lowman

Location: 400 San Juan Avenue, El Granada

APN: 047-117-010

Parcel Size: 1.24 acres (54,100 sq. ft.)

Existing Zoning: Planned Agricultural District / Coastal Development District (PAD/CD)

General Plan Designation: Residential, Medium Density Residential

Local Coastal Plan Designation: Rural

Existing Land Use: Residential

Water Supply: Coastside County Water District

Sewage Disposal: Granada Community Services District

Flood Zone: Zone X for the entirety of the parcel per FEMA Flood Panel 06081C0138F Effective Date: 08-02-2017. Zone X is land subject to minimal flooding.

Environmental Evaluation: The construction of the residential addition is exempt under CEQA Categorical Exemptions – Class 1, which allows the minor alterations of existing structures. The proposed addition will maintain the existing residential use.

Setting: The subject parcel is approximately 1.24 acres of rural coastal foothills, with single-family development to the northwest and south, and undeveloped agricultural designated property directly to the east. The proposed addition is located in an already disturbed portion of the property.

Chronology:

<u>Date</u>	<u>Action</u>
Sept. 16, 2019	- Application submitted.
May 22, 2020	- Deemed complete.
July 6, 2020	- Agricultural Advisory Committee

*Will the project be visible from a public road?*

The project will be visible from San Juan Avenue and Navarro Avenue.

*Will any habitat or vegetation need to be removed for the project?*

The proposed addition, and accompanying grading, is located within an already disturbed area of the property

*Is there prime soil on the project site?*

There are no prime soils within the disturbance area or on the subject parcel.

## **DISCUSSION**

### **A. KEY ISSUES**

Planning staff has reviewed this proposal and has concluded the following:

#### **1. Compliance with Planned Agricultural District (PAD) Regulations**

The project complies with the applicable development standards and requirements, discussed below:

##### **a. Development Standards**

As shown in the table below, the project conforms to Sections 6458 and 6359 of the San Mateo County Zoning Regulations, which regulate the height and setbacks of structures.

	<b>PAD Development Standard</b>	<b>Existing</b>	<b>Proposed</b>
Minimum Lot Size	N/A	1.24 acres	1.24 acres
Minimum Front Setback	50 feet	50 feet	50 feet
Minimum Side Setbacks	20 feet	81 feet (right side) 82 feet (left side)	69 feet (right side) 82 feet (left side)
Minimum Rear Setback	20 feet	115 feet	107 feet
Maximum Residential Floor Area	6,200 sq. ft.	3,352 sq. ft.	5,361 sq. ft.
Maximum Building Height	36 feet	36 feet	28'-4" (Ridge Peak)

b. PAD Permit Requirements

The project conforms to the substantive criteria for the issuance of a PAD Permit, as applicable and outlined in Section 6355 of the Zoning Regulations. As proposed and conditioned, the project conforms to the following applicable policies.

(1) General Criteria

- (a) *The encroachment of all development upon land which is suitable for agricultural uses shall be minimized.*

The two-story addition is not located on lands that are suitable for agriculture, according to the County's General Plan (Agricultural Lands Map).

- (b) *All development permitted on a site shall be clustered.*

The proposed addition is attached to an existing structure, with all existing auxiliary buildings (e.g. barn, storage shed) clustered in the rear of the property furthest from the public road.

- (c) *Where possible, structural uses shall be located away from prime agricultural soils.*

Section 6325.3 (*Primary Agricultural Resources Area Criteria*) allows only agricultural and compatible uses on primary agricultural land and agricultural preserve land, and encourages structural uses be located away from prime agricultural soils whenever possible. As mentioned above, the project is not within proximity of any agricultural activity or designated prime soils areas.

(2) Water Supply Criteria

*Adequate and sufficient water supplies needed for agricultural production and sensitive habitat protection in the watershed are not diminished.*

The project lies within the Coastside County Water District service area, which currently provides water supply to the parcel.

(3) Criteria for the Conversion of Lands Suitable for Agriculture and Other Land

The PAD Regulations allow the conversion of lands suitable for agriculture with a PAD Permit when the following can be demonstrated:

- (a) *All agriculturally unsuitable lands on the parcel have been developed or determined to be undevelopable;*

As mentioned in previous sections, the entirety of the project parcel does not contain prime soils, nor are agricultural activities being conducted onsite. The proposed addition will increase the existing lot coverage from 9.91% to 11.76%.

- (b) *Continued or renewed agricultural use of the soils is not capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social, and technological factors (Section 30108 of the Coastal Act);*

Due to the size and topographic constraints of the parcel, active commercial agriculture cannot be successfully conducted on the property, nor has there been a history of agricultural activity on site.

- (c) *Clearly defined buffer areas are provided between agricultural and non-agricultural uses;*

As mentioned previously, the subject parcel, and the proposed construction activity, is not within proximity of active agricultural lands and is predominately surrounded by single-family residential development. Additionally, a natural buffer of eucalyptus trees lies to the northeast of the property separating the subject property from the residential development on the adjacent agriculturally zoned property.

- (d) *The productivity of an adjacent agricultural land is not diminished, including the ability of the land to sustain dry farming or animal grazing;*

The agriculturally zoned property surrounding the subject property (located at 300 San Juan Avenue; APN 047-320-060) is not impacted by the proposed residential addition,

nor is the potential for future agricultural or grazing activity diminished. There is no Williamson Act Contract currently in effect on any surrounding parcel to the project.

- (e) *Public services and facility expansions and permitted uses will not impair agricultural viability either through increased assessment costs or degraded air and water quality.*

The subject property is already connected to utility services, and therefore will not require disturbance of soil resources or impair agricultural viability to the property or surrounding parcels.

## 2. Compliance with Local Coastal Program (LCP) Policies

The project complies with the following applicable LCP Policies:

### a. Development Component

Policy 1.8 (*Land Uses and Development Densities in Rural Areas*) allows new development in rural areas only if it is demonstrated that it will not have significant adverse impacts, either individually or cumulatively, on coastal resources and will not diminish the ability to keep all prime agricultural land and other land suitable for agriculture in agricultural production.

The proposed addition to the existing single-family residence does not pose a significant adverse impact on coastal resources or diminish agricultural productivity, as it is not located on prime soils or active agricultural lands. The project lies more than .5 linear miles from the nearest coastal access in El Granada, therefore no part of the project impedes or impacts coastal resources or public views.

### b. Agricultural Component

Policy 5.6 (*Permitted Uses on Lands Suitable for Agriculture Designated as Agriculture*) permits agricultural and agriculturally related development on land suitable for agriculture. The project parcel does not currently have agricultural activity, and is of a size and slope not suitable for cultivation or grazing. The proposed addition will not be built on prime soils, and no Class II & Class III designated soils are located on the parcel.

## **ATTACHMENTS**

- A. Vicinity Map
- B. Project Plans

BRA:cmc – BRAEE0283\_WCU.DOCX



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT A**





WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 © Latitude Geographics Group Ltd.

1:2,257 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**





**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

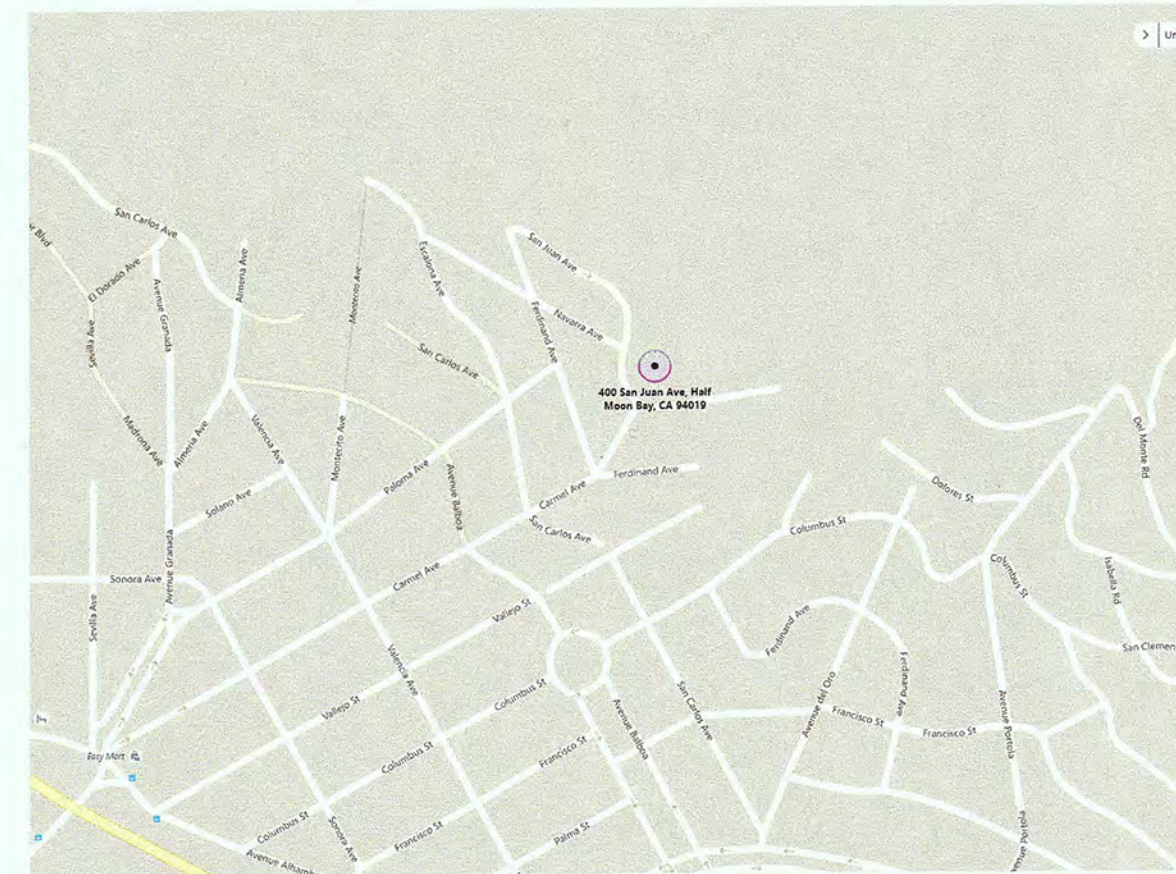
# **ATTACHMENT B**



# LOWMAN/BUTCHER HOME RENOVATION AND ADDITION

400 SAN JUAN AVE EL GRANADA, CA 94018

## VICINITY MAP:



## PLANNING INFORMATION:

APN: 047-117-010  
 ZONING: R1/S-17/DR/PAD  
 BLOCK NO.: 72  
 LOT NO.: --  
 MAP PAGE/GRID: --  
 LOT SIZE: 54,100  
 BUILDING SIZE: 4,437  
 LEVELS: 2  
 YEAR BUILT: --  
 ZIP CODE: 94018

## PROJECT DATA:

	EXISTING	PROPOSED	TOTAL
LOT AREA (S.F.)	54,100	0	54,100
LIVING AREA (S.F.)	3,352	2,009	5,361
AUXILIARY BUILDING AREA (S.F.)	1,335	0	1,335
GARAGE AREA (S.F.)	607	0	607
COVERED PORCH AREA (S.F.)	66	0	66
DECK/PORCH AREA ABOVE 18" (S.F.)	407	210	617
BASEMENT AREA (S.F.)	0	0	0

MAXIMUM LOT COVERAGE ALLOWED:	35.00%	18,935 S.F.
EXISTING LOT COVERAGE:	9.91%	5,361 S.F.
PROPOSED LOT COVERAGE:	1.85%	1,002 S.F.
TOTAL LOT COVERAGE	11.76%	6,362 S.F.

## LOCAL AND STATE CODES:

All work shall comply with the current 2016 CA Building Code and comply with the County of San Mateo Code and Planning Ordinance including, 2016 CA Residential Building Code, 2016 CA Mechanical Code, 2016 CA Plumbing Code, 2016 Energy Code, and 2016 California Green Building Standard Code.

All walls to be sheetrocked with and 1/2" drywall and 5/8" drywall on all ceilings.

All walls to be insulated with R-19 Batt Insulation.

Ceilings to have R-30 Batt Insulation.

Ceilings with a rooftop deck above to have solid open-cell spray foam insulation.

All tempered glass shall be rated per "TEMPERED GLASS REQUIREMENTS" on SHEET A1.

All windows shall be properly flashed with modified bitumen and z-metal flashing at header trim.

## EXISTING SITE:



EXISTING BACKYARD PATIO

## WORK DESCRIPTION:

The scope of this project will include a 2,009 S.F. two-story addition; includes, great room, pantry, master suite (bedroom, full bath, and lounge), two new lounges, and 2nd-story roof deck.

## PROPOSED PERSPECTIVE VIEW (NOT ALL DETAILS MAY BE SHOWN):



## PLAN SHEET LEGEND:

SHEET NO.	SHEET NAME
A0	GENERAL NOTES, PROJECT DATA AND INFORMATION, AND SHEET LIST
A1	PROJECT NOTES, SPECIFICATIONS, AND REQUIREMENTS
A2	PROPOSED SITE DEMOLITION
A3	PROPOSED SITE PLAN
C1.0	PRELIMINARY TITLE SHEET
C2.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C3.0	PRELIMINARY UTILITY PLAN
ER1.0	PRELIMINARY EROSION CONTROL PLAN
ER2.0	PRELIMINARY EROSION CONTROL DETAILS
A4	EXISTING ROOF WITH PROPOSED DEMOLITION
A5	PROPOSED ROOF PLAN
A6	1ST LEVEL FLOOR PLAN - EXISTING WITH PROPOSED DEMOLITION PLAN
A7	1ST LEVEL FLOOR PLAN - PROPOSED NEW WORK WITH WINDOW AND DOOR SCHEDULES
A8	2ND LEVEL FLOOR PLAN - EXISTING WITH PROPOSED DEMOLITION
A9	2ND LEVEL FLOOR PLAN - PROPOSED NEW WORK WITH WINDOW AND DOOR SCHEDULES
A10	EAST ELEVATIONS
A11	SOUTH ELEVATIONS
A12	WEST ELEVATIONS
A13	NORTH ELEVATIONS
A15	BUILDING SECTIONS AND DETAIL
A14	PATIO KITCHEN ELEVATIONS
E1	1ST FLOOR NEW WORK - ELECTRICAL
E2	2ND FLOOR NEW WORK - ELECTRICAL
E3	PROPOSED PATIO NEW WORK - ELECTRICAL
S1	MAIN FLOOR FRAMING AND FOUNDATION PLAN
S2	2ND FLOOR AND LOWER ROOF FRAMING PLAN
S3	UPPER ROOF FRAMING PLAN
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS
SD3	STRUCTURAL DETAILS
SD4	STRUCTURAL DETAILS
SD5	STRUCTURAL DETAILS
SD6	STRUCTURAL DETAILS
HFX 01	ANCHORAGE DETAILS - HFX PANELS
HFX 02	FRAMING DETAILS - HFX PANELS
HFX 03	FLOOR SYSTEM DETAILS - HFX PANELS
SI - S-1 EX.	FOUNDATION PLAN & DETAILS
SI - S-2 EX.	2ND FLOOR FRAMING PLAN STAIR PLAN PARTIAL WALL SECTION
SI - S-3 EX.	2ND FLOOR & MUDROOM CEILING FRAMING PLANS
SI - S-4 EX.	UPPER & LOWER ROOF FRAMING PLANS & HANDRAIL DETAILS
SI - S-5 EX.	WALL SECTION AND GENERAL NOTES
T24-01	TITLE 24 INFORMATION
T24-02	TITLE 24 INFORMATION
T24-03	TITLE 24 INFORMATION

## GENERAL NOTES

All work shall comply with applicable codes and trade standard which govern each phase of work, including, but not limited to: 2016 California Building Code (C.B.C.), 2016 California Mechanical Code (CMC), 2016 National Electrical Code (NEC), 2016 California Electrical Code (CEC), 2016 California Fire Code (CFC), 2016 California Plumbing Code (CPC), 2016 California Energy Standards (CES), and all the applicable city, state, or local codes and/or legislation including 2016 California Green Building Standard Code.

It is the responsibility of the general contractor and all sub-contractors to check and verify all the dimensions and conditions indicated on these drawings and notify the designer of any discrepancies prior to commencing their work.

No guarantee for quality of construction is implied by the architectural documents, and the general contractor shall assume full responsibility for any or all construction deficiencies.

The owner & contractor agrees to indemnify, defend, & hold the designer (TURNERBUILT CONSTRUCTION, INC), harmless from and against any and all claims liabilities, suits demands, losses, costs, and expenses, including reasonable attorney's fees and all legal expenses and fees incurred on appeal and all interest thereon, accruing or resulting to any and all persons, firms, or any other legal entity on account of any damage to property or persons, including death, arising out of the performance or non-performance of obligations under this agreement, except where the designer is found to be solely liable for such damages or losses by a court or forum of competent jurisdiction.

The general contractor shall verify size, location, & characteristics of all work and equipment supplied by the owner or others, with the manufacturer or supplier, prior to the start of related work.

Do not accumulate trash or debris on site. Promptly remove material from site per local ordinance.

All dimensions given are to face or wall unless otherwise noted.

All dimensions take precedence over scale.

It is important that all delivery times be checked and holds placed on materials as required to meet construction schedule.

Contractor to seal all penetrations, (e.g. from pipes, drilled holes, etc.), between floors and walls.

All new walls or patched openings in existing walls shall be finished to match adjacent surfaces.

Seal all control joints where exposed to view. Sealant color shall match the color of the finish material.

Provide wood blocking in all stud walls at millwork and special item anchoring points.

It is the intent of the drawings that all exposed surfaces receive finishes as indicated on the drawings unless specifically noted otherwise. The general contractor shall assume full responsibility for the coordination of the complete finish-out of the project. Any surfaces which do not have a specific finish noted, nor are noted to remain unfinished, shall be brought to the attention of the designer and finished per the designer's instructions.

Provide USG Durock cement board at all areas subject to water or moisture.

The temporary (N.F.R.C.) Label which states the listed u-value for all fenestration products shall not be removed prior to inspections.

Verify rough-in dimensions for equipment provided on this contract and equipment by others.

All equipment, fixtures, & other manufactured items shall be installed in strict accordance with the manufacturer's recommendations.

Electrical, plumbing, & HVAC are design/build portions of the work

Design/build portions of the work shall incorporate all design elements, specific fixtures, apparatus, appliances, & performance & aesthetic criteria shown in the these documents in their designs. design/build sub-contractors shall provide all necessary drawings & calculations to size lines & equipment & to obtain respective permits. No compensation shall be made by the planning consultant or any design or related fees for these portions of the work.

Details indicated on the drawings are representative and typical. All attachments and connections shall conform to best practice and shall be the contractor's responsibility.

These drawings are "instruments of service" & therefore the copyright property of TURNERBUILT CONSTRUCTION, INC. The design and specifications are for use only on the subject property and project, unless prior agreements have been made. Any use, re-use, change, revisions or reproductions of these drawings without expressed written permission of TURNERBUILT CONSTRUCTION, INC is strictly prohibited by law. In the event of unauthorized use of these drawings, the user shall hold the designer harmless and bear responsibility of any related legal costs.



100 MAIN ST. HALF MOON BAY, CA 94019  
 bturner@turnerbuilt.com 650.726.7800  
 LIC. #945210

**PROJECT:**  
 LOWMAN/BUTCHER HOME  
 RENOVATION AND ADDITION

**OWNER:**  
 HENRY LOWMAN/KAREN  
 BUTCHER

**PROJECT ADDRESS:**  
 400 SAN JUAN AVE.  
 EL GRANADA, CA 94018

**CONTACT INFORMATION**  
 hblowman@comcast.net

## APPROVAL

OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
13	DOOR/WINDOW REVIEW	11/21/17
14	DOOR/WINDOW REVIEW	11/30/17
15	PROPOSED PLANS	2/14/18
16	PATIO REVISION	3/9/18
17	PROPOSED REVISIONS	6/29/18
18	PLAN REVISIONS	8/13/18
19	FINAL REVIEW	1/21/19
20	SUBMITTAL	9/5/19

**SHEET TITLE:**  
**GENERAL NOTES,  
 PROJECT DATA AND  
 INFORMATION, AND  
 SHEET LIST**

**RECEIVED**

SEP 16 2019

DRAWN BY: San Mateo County  
 CAD FILE: Planning Division

**RECEIVED**

SEP 16 2019

San Mateo County  
 Planning Division

**A0**

PLN2019-00366

**SCALE:**

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.

DESIGNER IS NOT RESPONSIBLE FOR INCORRECT MEASUREMENTS. ANY AND ALL DIMENSIONAL DISPUTES SHALL BE BROUGHT TO THE DESIGNER'S AND/OR CONTRACTOR'S ATTENTION.

ARCHITECTURAL











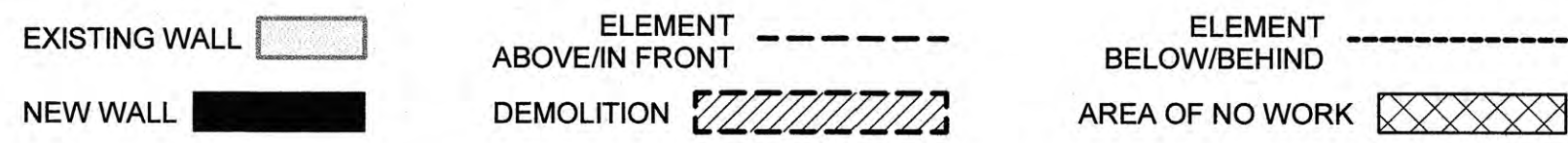
**DOOR SCHEDULE - 1ST LEVEL**

MARK	LEVEL	ROOM NAME	WIDTH	HEIGHT	TYPE	Count	COMMENTS
17	010 - 1ST LEVEL F. F.	D-SUITE CLOSET	2'-4"	6'-8"	Single-Door FLUSH	3	
18	010 - 1ST LEVEL F. F.	LAUNDRY	3'-0"	6'-8"	Single-Door FULL-GLASS Panel	2	RE-USE FROM EXISTING
21	010 - 1ST LEVEL F. F.	GREAT ROOM to Patio	3'-0"	6'-8"	Single-Door FULL-GLASS Panel	2	TEMPERED
45	010 - 1ST LEVEL F. F.	NEW PANTRY	3'-0"	6'-8"	Single-Door GLASS-PANEL	1	
48	010 - 1ST LEVEL F. F.	D-SUITE BEDROOM	4'-0"	6'-8"	Double-Door 8-PANEL	1	
60	010 - 1ST LEVEL F. F.	D-SUITE to STAIRWELL	3'-0"	6'-8"	Single-Door FULL-GLASS Panel	1	TEMPERED
68	010 - 1ST LEVEL F. F.	D-SUITE Entrance	3'-0"	6'-8"	Single-Door 8-PANEL	1	
70	010 - 1ST LEVEL F. F.	NEW PANTRY	2'-0"	4'-6"	Single-Door FLUSH	1	Under Landing-Size T.B.D.

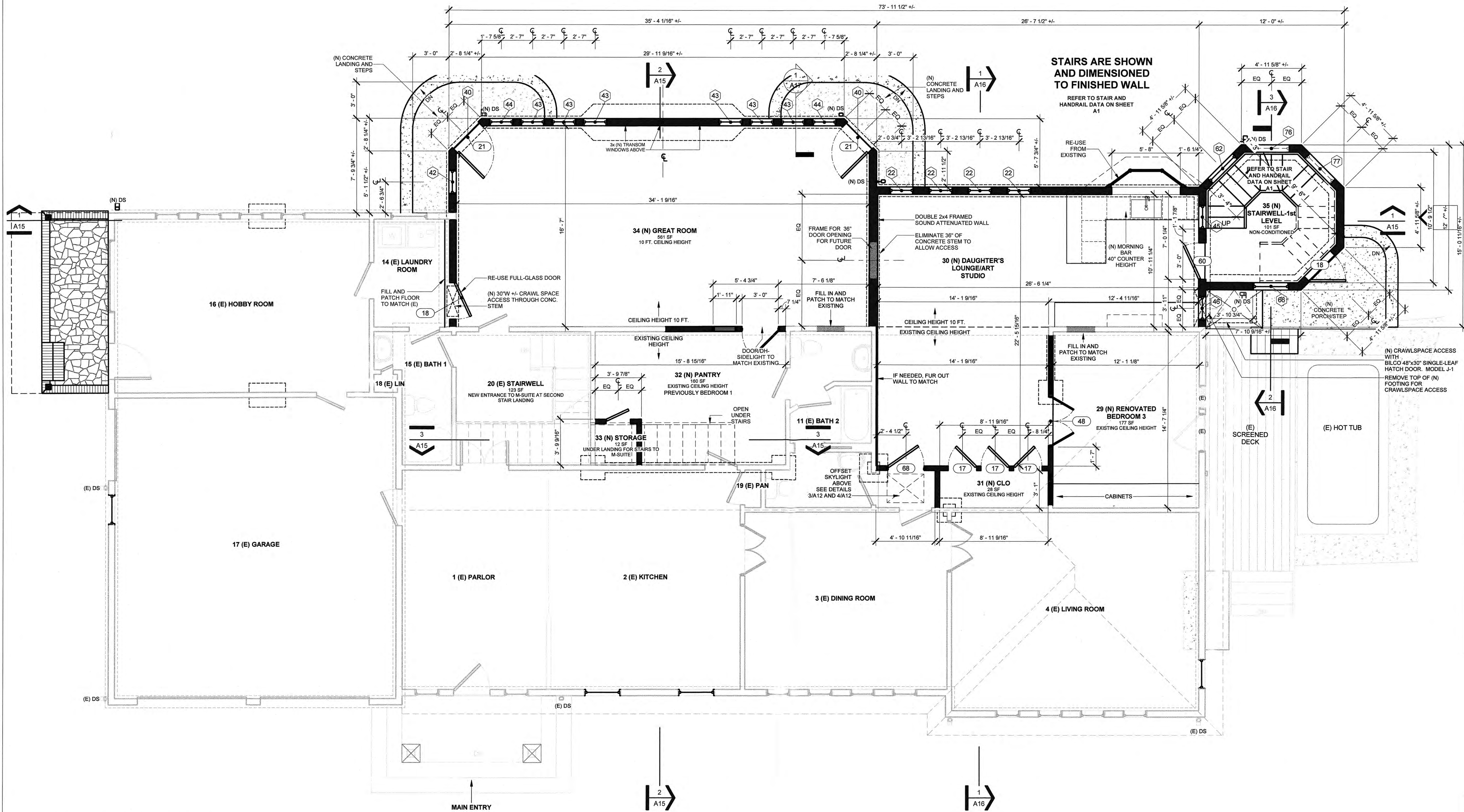
**WINDOW SCHEDULE - 1ST LEVEL**

MARK	LEVEL	ROOM NAME	WIDTH	HEIGHT	TYPE	COUNT	COMMENTS
22	010 - 1ST LEVEL F. F.	D-LOUNGE	2'-0"	5'-5 1/2"	Double-Hung	4	
22	010 - 1ST LEVEL F. F.	KITCHEN	3'-0"	3'-8"	Double-Hung	2	
22	010 - 1ST LEVEL F. F.	LIVING ROOM	2'-6"	4'-0"	Double-Hung	1	
40	010 - 1ST LEVEL F. F.	GREAT ROOM	3'-0"	1'-5"	Fixed	2	TEMPERED; TRANSOM ABOVE PATIO DOOR
42	010 - 1ST LEVEL F. F.	GREAT ROOM	2'-0"	5'-5 1/2"	Double-Hung	1	TEMPERED - NORTH WALL
43	010 - 1ST LEVEL F. F.	GREAT ROOM	2'-0"	5'-5 1/2"	Double-Hung	2	
44	010 - 1ST LEVEL F. F.	GREAT ROOM	2'-0"	5'-5 1/2"	Double-Hung	6	
45	010 - 1ST LEVEL F. F.	D-LOUNGE	2'-0"	3'-0"	Double-Hung	1	TEMPERED
46	010 - 1ST LEVEL F. F.	D-LOUNGE	2'-0"	3'-0"	Double-Hung	1	TEMPERED
62	010 - 1ST LEVEL F. F.	(N) STAIRWELL	3'-0"	4'-3"	Double-Hung	1	TEMPERED
66	010 - 1ST LEVEL F. F.	(N) STAIRWELL	3'-0"	4'-3"	Double-Hung	1	
76	010 - 1ST LEVEL F. F.	(N) STAIRWELL	3'-0"	4'-3"	Double-Hung	1	TEMPERED - SILL AT 3' MIN ABOVE 5TH STEP
77	010 - 1ST LEVEL F. F.	(N) STAIRWELL	3'-0"	4'-3"	Double-Hung	1	TEMPERED - SILL AT 3' MIN ABOVE 8TH STEP
78	010 - 1ST LEVEL F. F.	(N) STAIRWELL	3'-0"	4'-3"	Double-Hung	1	TEMPERED - SILL AT 3' MIN ABOVE 11TH STEP; SOUTH WALL MID-LEVEL

**GRAPHICS LEGEND**



**TAG LEGEND**



100 MAIN ST. HALF MOON BAY, CA 94019  
 blturner@turnerbuilt.com 650.726.7800  
 LIC. #945210

**PROJECT:**  
 LOWMAN/BUTCHER HOME  
 RENOVATION AND ADDITION

**OWNER:**  
 HENRY LOWMAN/KAREN  
 BUTCHER

**PROJECT ADDRESS:**  
 400 SAN JUAN AVE.  
 EL GRANADA, CA 94018

**CONTACT INFORMATION**  
 hblowman@comcast.net

**APPROVAL**

OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
13	DOOR/WINDOW REVIEW	11/21/17
14	DOOR/WINDOW REVIEW	11/30/17
15	PROPOSED PLANS	2/14/18
16	PATIO REVISION	3/9/18
17	PROPOSED REVISIONS	6/29/18
18	PLAN REVISIONS	8/13/18
19	FINAL REVIEW	12/1/19
20	SUBMITTAL	9/5/19

**SHEET TITLE:**  
 1ST LEVEL FLOOR  
 PLAN - PROPOSED  
 NEW WORK WITH  
 WINDOW AND DOOR  
 SCHEDULES

DRAWN BY: \_\_\_\_\_ Author  
 CAD FILE: \_\_\_\_\_

**A7**

**ARCHITECTURAL**

**SCALE:** As indicated

PLEASE VERIFY ALL DIMENSIONS AND REVIEW  
 DETAILS AND NOTES FOR, BUT NOT LIMITED TO,  
 CABINETS, PLUMBING, STRUCTURAL, AND  
 ELECTRICAL COMPONENTS.  
 DESIGNER IS NOT RESPONSIBLE FOR INCORRECT  
 MEASUREMENTS. ANY AND ALL DIMENSIONAL  
 DISPUTES SHALL BE BROUGHT TO THE DESIGNER'S  
 AND/OR CONTRACTOR'S ATTENTION.

**1 1ST FLOOR PROPOSED NEW WORK**

**A7** SCALE: 1/4" = 1'-0"



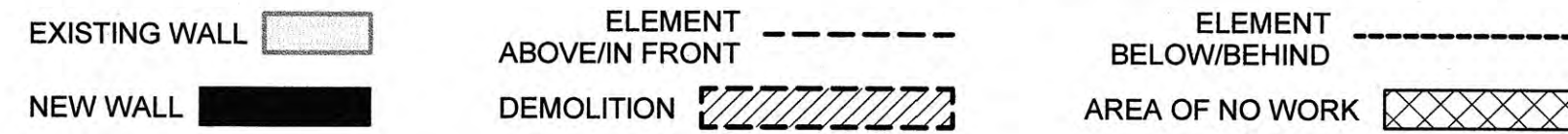
**DOOR SCHEDULE - 2ND LEVEL**

MARK	LEVEL	ROOM NAME	WIDTH	HEIGHT	TYPE	COUNT	COMMENTS
20	020 - 2ND LEVEL F. F.	M-SUITE/M-BATH	5' - 0"	6' - 8"	4-Panel Bi-Fold 8-Panel Style	1	
36	020 - 2ND LEVEL F. F.	DECK/STAIRWELL	3' - 0"	6' - 8"	Single-Door FULL-GLASS Panel	1	TEMPERED
44	INTERIOR STAIR LANDING 2	STAIRWELL	3' - 2 3/4"	6' - 8"	Door-Opening	1	FULL-WIDTH PASS-THRU
48	020 - 2ND LEVEL F. F.	M-BEDROOM CLOSET	4' - 0"	6' - 8"	Double-Door 8-PANEL	2	DOUBLE 8-PANEL
50	020 - 2ND LEVEL F. F.	MASTER SUITE LOUNGE	4' - 0"	6' - 8"	Double-Door 8-PANEL	1	RE-USE FROM DEMOLISHED BED 1 CLOSET
65	020 - 2ND LEVEL F. F.	MASTER BATH POWDER ROOM	2' - 10"	6' - 8"	Single-Door 8-PANEL	1	
67	020 - 2ND LEVEL F. F.	MASTER BEDROOM	3' - 0"	6' - 8"	Single-Door 8-PANEL	1	
73	020 - 2ND LEVEL F. F.	2nd LEVEL LANDING	3' - 0"	6' - 8"	Single-Door FULL-GLASS Panel	1	TEMPERED

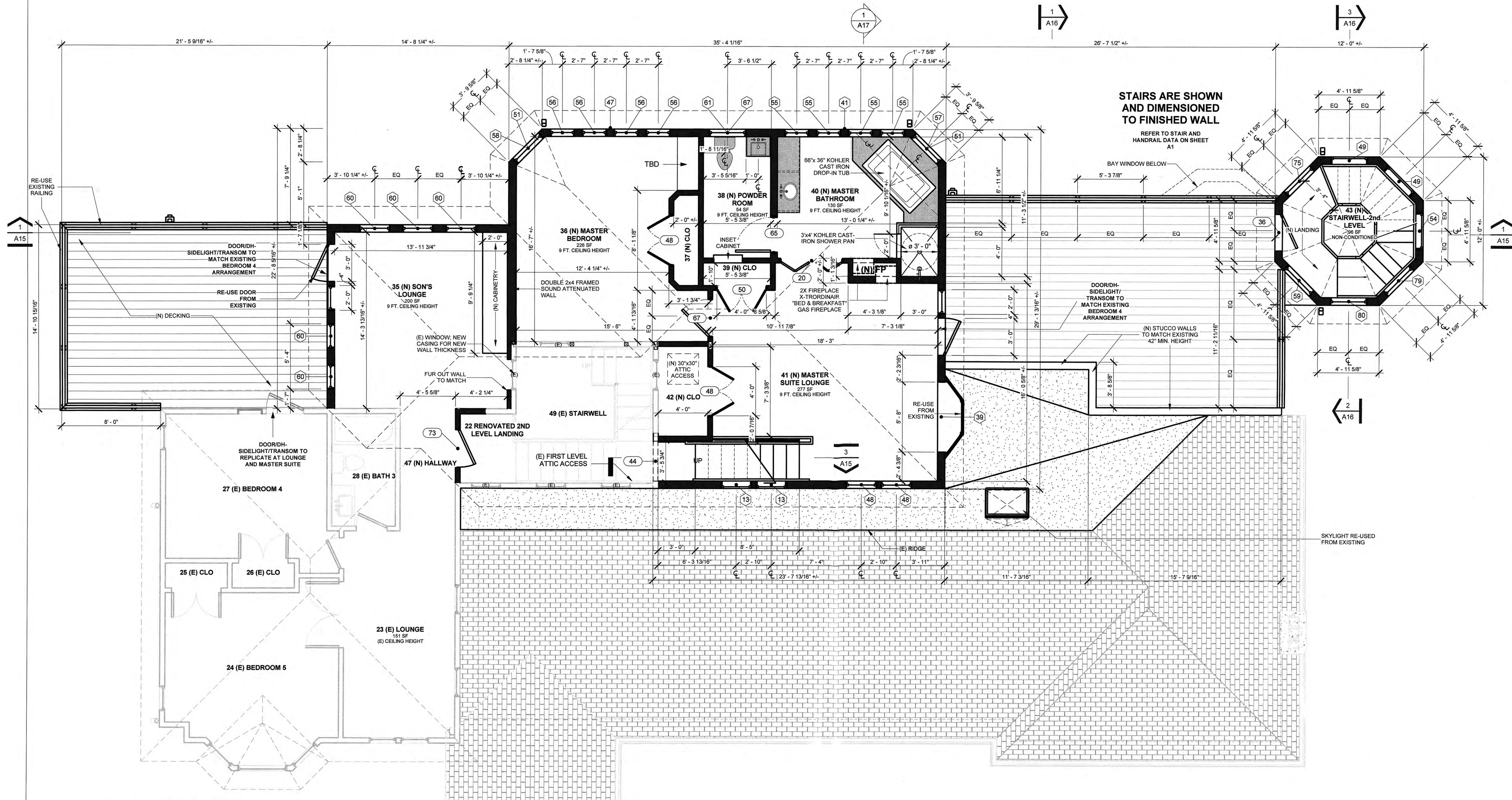
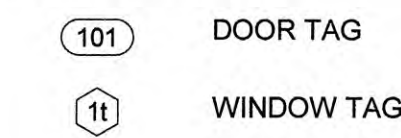
**WINDOW SCHEDULE - 2ND LEVEL**

MARK	LEVEL	ROOM NAME	WIDTH	HEIGHT	TYPE	COUNT	COMMENTS
13	020 - 2ND LEVEL F. F.	M-SUITE LOUNGE	2' - 6"	3' - 10"	Fixed	2	RE-USE FROM MID-LEVEL EAST STAIRWELL
41	020 - 2ND LEVEL F. F.	MASTER BATH	9' - 9"	10 1/2"	Fixed	1	TRANSOM ABOVE WINDOW SET; TEMPERED
47	020 - 2ND LEVEL F. F.	MASTER BEDROOM	9' - 9"	10 1/2"	Fixed	1	TRANSOM ABOVE WINDOW SET
48	020 - 2ND LEVEL F. F.	M-SUITE LOUNGE	2' - 6"	3' - 10"	Double-Hung	2	RE-USE FROM MID-LEVEL EAST STAIRWELL
49	020 - 2ND LEVEL F. F.	(N) STAIRWELL	3' - 0"	4' - 3"	Fixed	2	TEMPERED
51	020 - 2ND LEVEL F. F.	MASTER BATH	3' - 0"	10 1/2"	Fixed	1	TRANSOM ABOVE DH WINDOW; TEMPERED
51	020 - 2ND LEVEL F. F.	MASTER BEDROOM	3' - 0"	10 1/2"	Fixed	1	TRANSOM ABOVE DH WINDOW
54	020 - 2ND LEVEL F. F.	(N) STAIRWELL	3' - 0"	2' - 5"	Fixed	1	AT TOP OF STAIRS
55	020 - 2ND LEVEL F. F.	MASTER BATH	2' - 0"	3' - 8"	Double-Hung	4	BATHTUB DECK; TEMPERED
56	020 - 2ND LEVEL F. F.	MASTER BEDROOM	2' - 0"	3' - 8"	Double-Hung	4	
57	020 - 2ND LEVEL F. F.	MASTER BATH	3' - 0"	3' - 8"	Double-Hung	1	BATHTUB DECK; TEMPERED
58	020 - 2ND LEVEL F. F.	MASTER BEDROOM	3' - 0"	3' - 8"	Double-Hung	1	
59	020 - 2ND LEVEL F. F.	(N) STAIRWELL	3' - 0"	4' - 3"	Double-Hung	1	TEMPERED
60	020 - 2ND LEVEL F. F.	SON'S LOUNGE	4' - 10 1/2"	4' - 10 1/2"	Double-Hung	5	
61	020 - 2ND LEVEL F. F.	M-BATH POWD ROOM	3' - 0"	3' - 8"	Double-Hung	1	TEMPERED
67	020 - 2ND LEVEL F. F.	M-BATH POWD ROOM	3' - 0"	10 1/2"	Fixed	1	TRANSOM ABOVE DH WINDOW; TEMPERED
75	020 - 2ND LEVEL F. F.	(N) STAIRWELL	3' - 0"	4' - 3"	Double-Hung	1	TEMPERED
79	020 - 2ND LEVEL F. F.	(N) STAIRWELL	3' - 0"	4' - 3"	Double-Hung	1	TEMPERED
80	020 - 2ND LEVEL F. F.	(N) STAIRWELL	3' - 0"	4' - 3"	Double-Hung	1	TEMPERED

**GRAPHICS LEGEND**



**TAG LEGEND**



100 MAIN ST. HALF MOON BAY, CA 94019  
 blturner@turnerbuilt.com 650.726.7800  
 LIC. #945210

**PROJECT:**  
 LOWMAN/BUTCHER HOME  
 RENOVATION AND ADDITION

**OWNER:**  
 HENRY LOWMAN/KAREN  
 BUTCHER

**PROJECT ADDRESS:**  
 400 SAN JUAN AVE.  
 EL GRANADA, CA 94018

**CONTACT INFORMATION**  
 hblowman@comcast.net

**APPROVAL**

OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
13	DOOR/WINDOW REVIEW	11/21/17
14	DOOR/WINDOW REVIEW	11/30/17
15	PROPOSED PLANS	2/14/18
16	PATIO REVISION	3/9/18
17	PROPOSED REVISIONS	6/28/18
18	PLAN REVISIONS	8/13/18
19	FINAL REVIEW	12/1/19
20	SUBMITTAL	9/5/19

**SHEET TITLE:**  
 2ND LEVEL FLOOR  
 PLAN - PROPOSED  
 NEW WORK WITH  
 WINDOW AND DOOR  
 SCHEDULES

DRAWN BY: \_\_\_\_\_  
 CAD FILE: \_\_\_\_\_

**A9**

**ARCHITECTURAL**

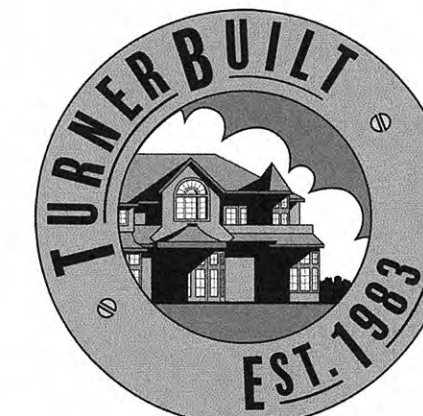
**SCALE:** As indicated

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS. DESIGNER IS NOT RESPONSIBLE FOR INCORRECT MEASUREMENTS. ANY AND ALL DIMENSIONAL DISPUTES SHALL BE BROUGHT TO THE DESIGNER'S AND/OR CONTRACTOR'S ATTENTION.









100 MAIN ST. HALF MOON BAY, CA 94019  
 turner@turnerbuilt.com 650.726.7800  
 LIC. #945210

**PROJECT:**  
 LOWMAN/BUTCHER HOME  
 RENOVATION AND ADDITION

**OWNER:**  
 HENRY LOWMAN/KAREN  
 BUTCHER

**PROJECT ADDRESS:**  
 400 SAN JUAN AVE.  
 EL GRANADA, CA 94018

**CONTACT INFORMATION**  
 hblowman@comcast.net

**APPROVAL**

OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
13	DOOR/WINDOW REVIEW	11/21/17
14	DOOR/WINDOW REVIEW	11/30/17
15	PROPOSED PLANS	2/14/18
16	PATIO REVISION	3/9/18
17	PROPOSED REVISIONS	6/29/18
18	PLAN REVISIONS	8/13/18
19	FINAL REVIEW	1/21/19
20	SUBMITTAL	9/5/19

**SHEET TITLE:**  
 SOUTH ELEVATIONS

DRAWN BY: \_\_\_\_\_  
 CAD FILE: \_\_\_\_\_

**A11**

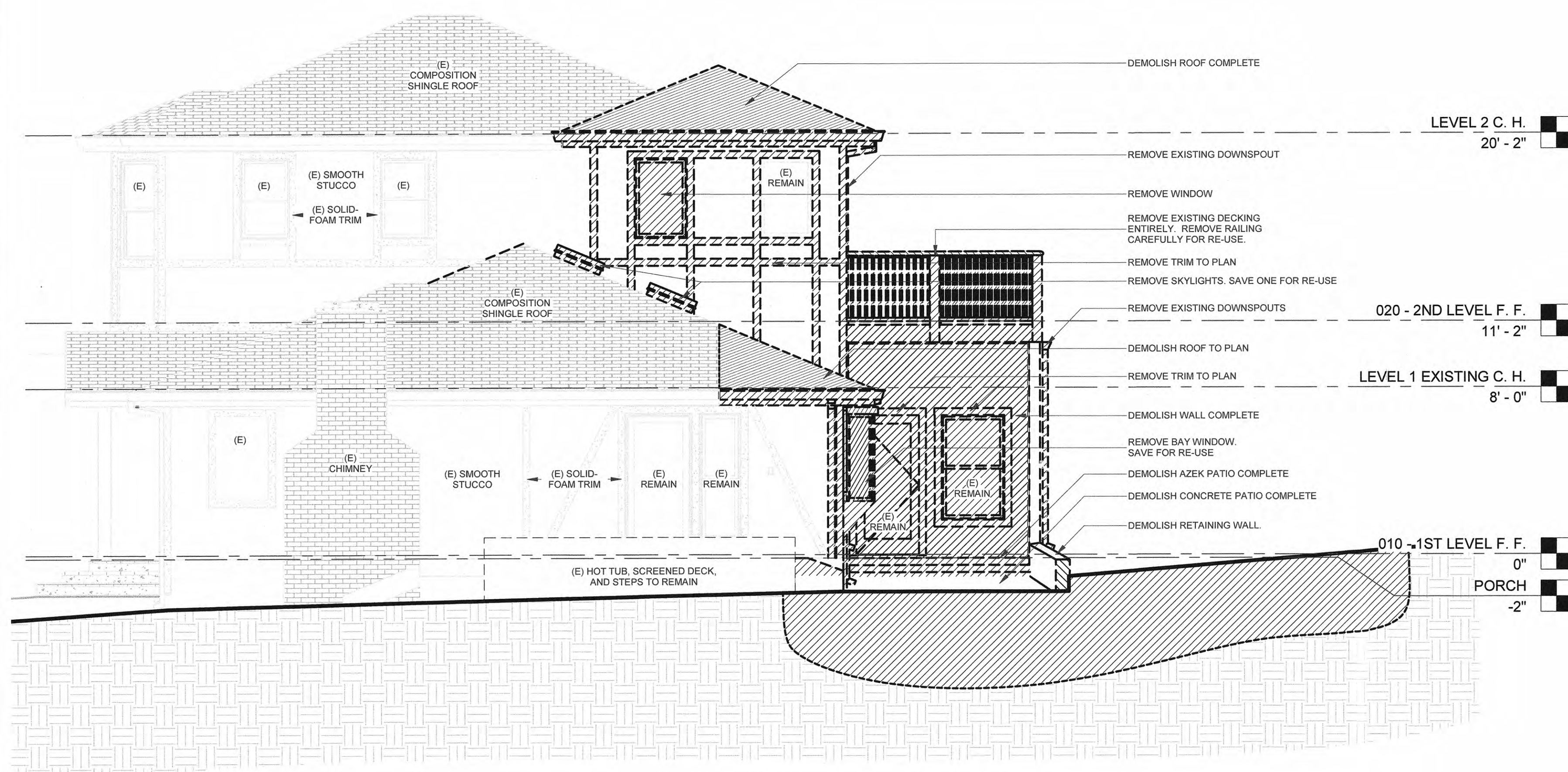
ARCHITECTURAL

SCALE: As indicated

PLEASE VERIFY ALL DIMENSIONS AND REVIEW  
 DETAILS AND NOTES FOR, BUT NOT LIMITED TO,  
 CABINETS, PLUMBING, STRUCTURAL, AND  
 ELECTRICAL COMPONENTS.  
 DESIGNER IS NOT RESPONSIBLE FOR INCORRECT  
 MEASUREMENTS. ANY AND ALL DIMENSIONAL  
 DISPUTES SHALL BE BROUGHT TO THE DESIGNER'S  
 AND/OR CONTRACTOR'S ATTENTION.

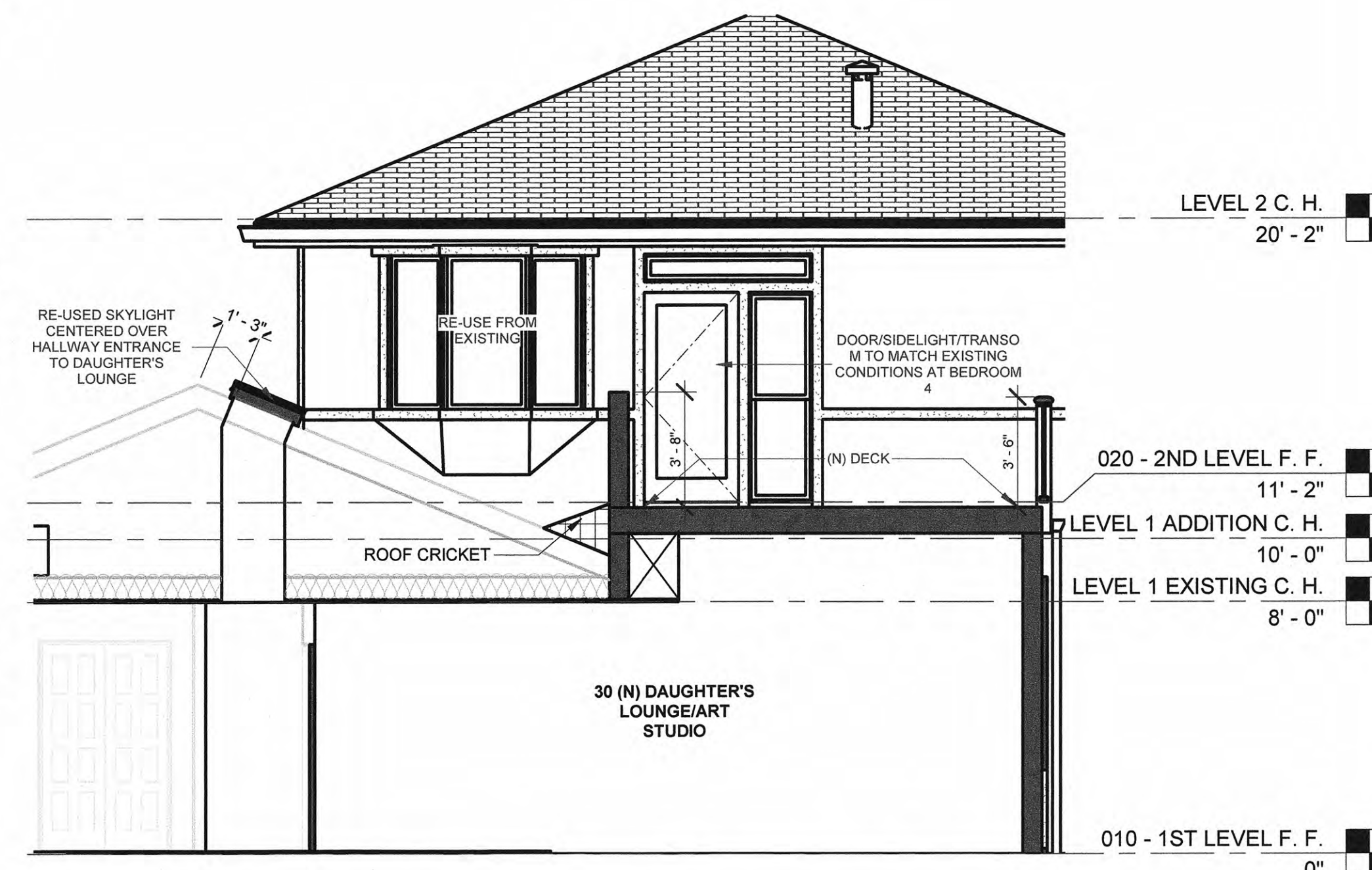
**GRAPHICS LEGEND**

- EXISTING WALL
- NEW WALL
- ELEMENT ABOVE/IN FRONT
- DEMOLITION
- ELEMENT BELOW/BEHIND
- AREA OF NO WORK



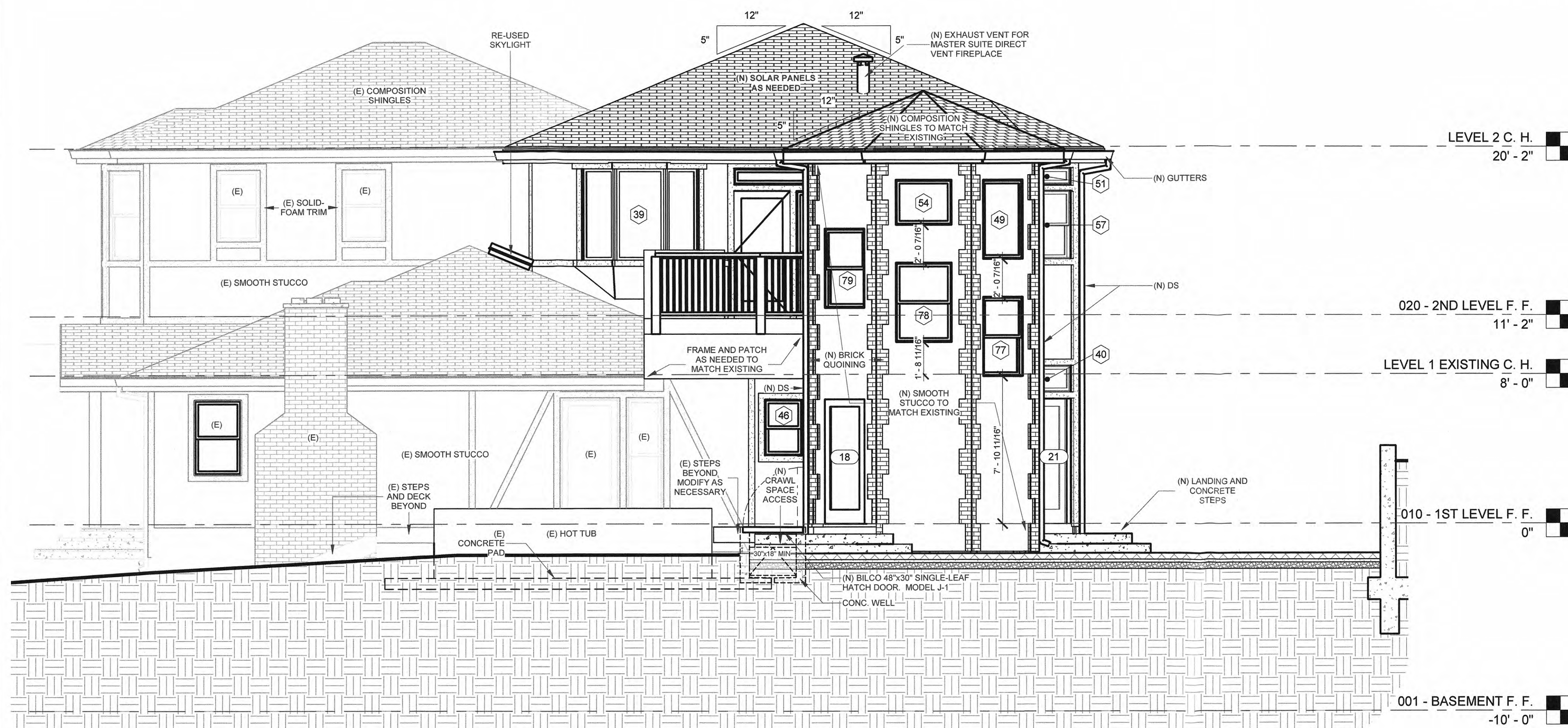
**1 SOUTH ELEVATION DEMOLITION**

A11 SCALE: 1/4" = 1'-0"



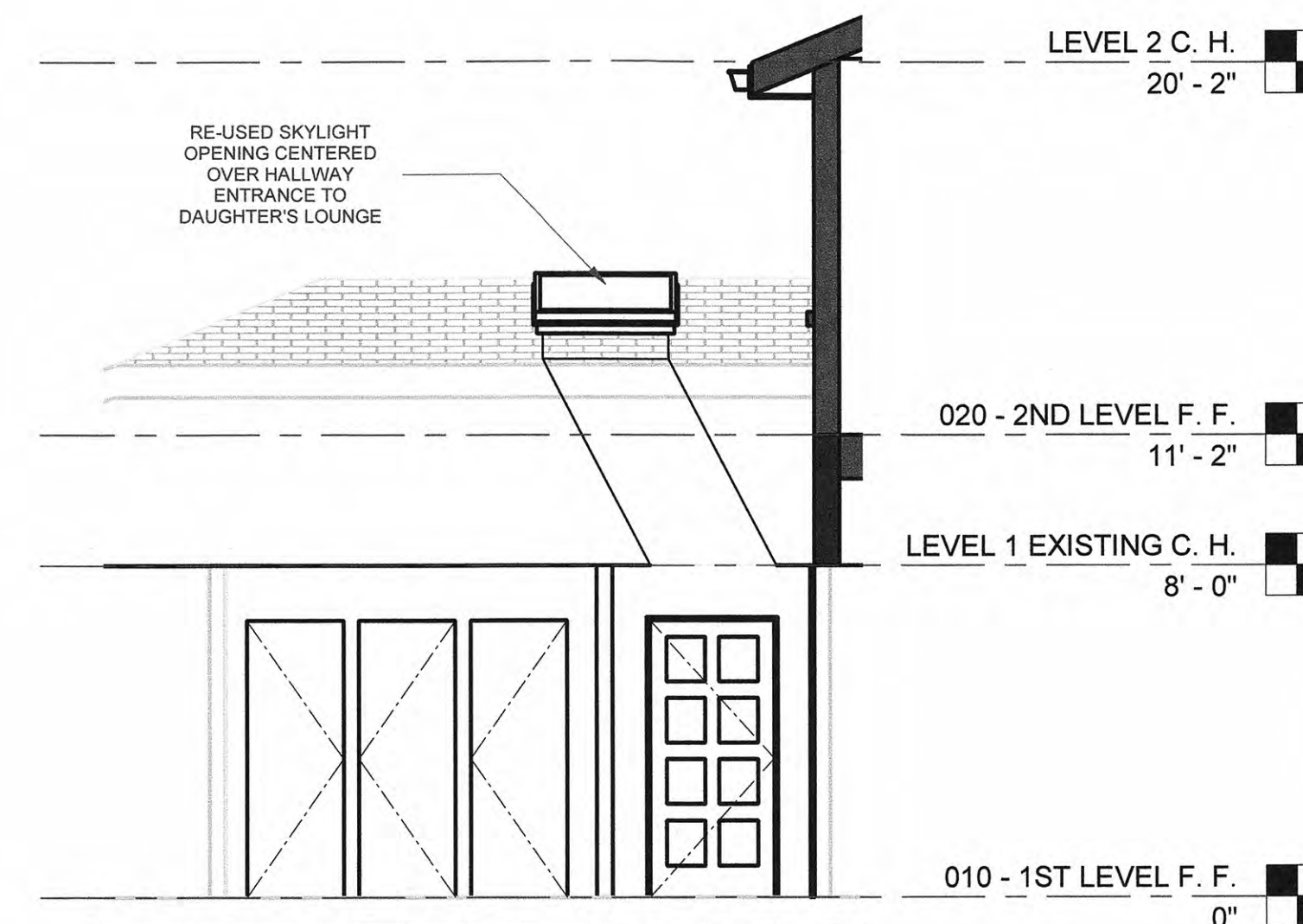
**3 SKYLIGHT POSITION DETIAL - SOUTH ELEVATION**

A11 SCALE: 1/4" = 1'-0"



**2 SOUTH ELEVATION NEW WORK**

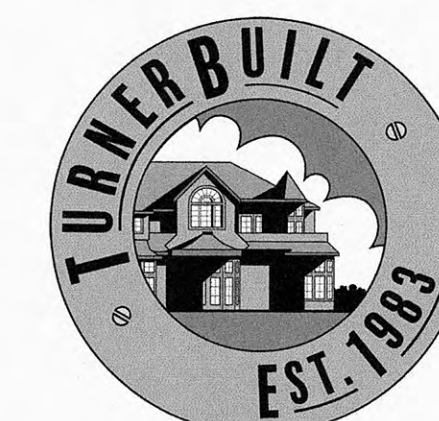
A11 SCALE: 1/4" = 1'-0"



**4 SKYLIGHT POSITION DETIAL - EAST ELEVATION**

A11 SCALE: 1/4" = 1'-0"





100 MAIN ST. HALF MOON BAY, CA 94019  
 bturner@turnerbuilt.com 650.728.7800  
 LIC. #945210

**PROJECT:**  
 LOWMAN/BUTCHER HOME  
 RENOVATION AND ADDITION

**OWNER:**  
 HENRY LOWMAN/KAREN  
 BUTCHER

**PROJECT ADDRESS:**  
 400 SAN JUAN AVE.  
 EL GRANADA, CA 94018

**CONTACT INFORMATION**  
 hblowman@comcast.net

**APPROVAL**

OWNER/AGENT

GENERAL CONTRACTOR

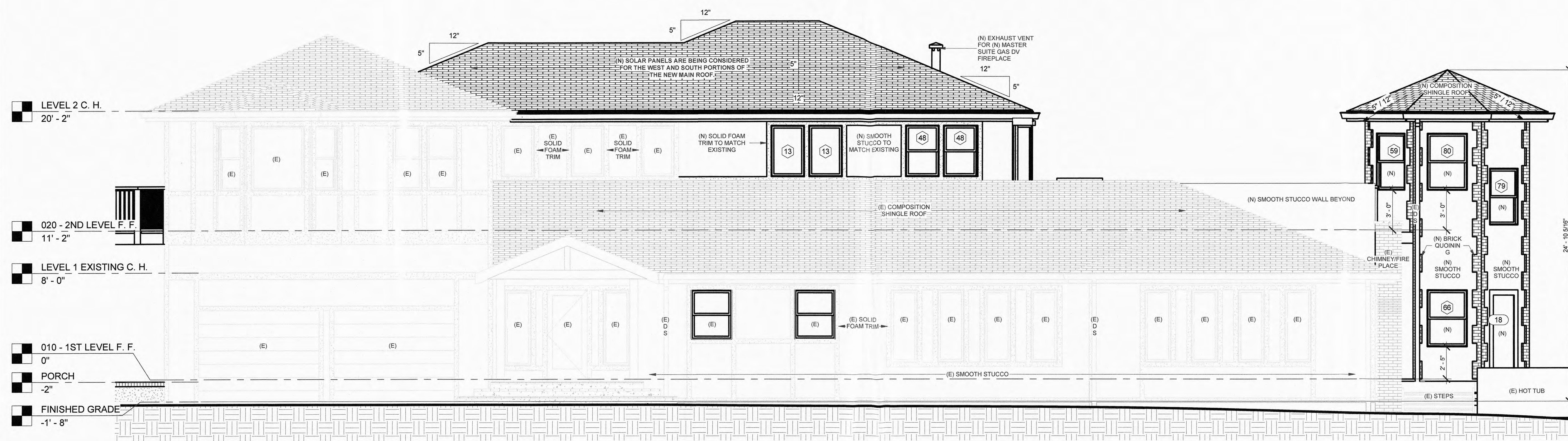
SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
13	DOOR/WINDOW REVIEW	11/21/17
14	DOOR/WINDOW REVIEW	11/30/17
15	PROPOSED PLANS	2/14/18
16	PATIO REVISION	3/9/18
17	PROPOSED REVISIONS	8/29/18
18	PLAN REVISIONS	8/13/18
19	FINAL REVIEW	1/21/19
20	SUBMITTAL	9/5/19



**1 EXISTING WEST ELEVATION**

**A12** SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION NEW WORK**

**A12** SCALE: 1/4" = 1'-0"

**SHEET TITLE:**  
 WEST ELEVATIONS

DRAWN BY: \_\_\_\_\_ Author  
 CAD FILE: \_\_\_\_\_

**A12**

ARCHITECTURAL

SCALE: 1/4" = 1'-0"

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS. DESIGNER IS NOT RESPONSIBLE FOR INCORRECT MEASUREMENTS. ANY AND ALL DIMENSIONAL DISPUTES SHALL BE BROUGHT TO THE DESIGNER'S AND/OR CONTRACTOR'S ATTENTION.





















**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ITEM**

**8**



## County of San Mateo Planning & Building Department Agricultural Advisory Committee

BJ Burns  
Koren Widdel  
Jess Brown  
Jim Howard

John Vars  
Judith Humburg  
Laura Richstone  
Lauren Silberman

Louie Figone  
Frank McPherson  
Robert Marsh  
Ron Sturgeon

William Cook  
Cynthia Duenas  
Peter Marchi  
Natalie Sare

County Office Building  
455 County Center, 2<sup>nd</sup> Floor  
Redwood City, California 94063  
650/363-1829  
Fax: 650/363-4849

### ACTION MINUTES

*Draft*

Monday June 8, 2020

On March 17, 2020, the Governor issued Executive Order N-29-20 suspending certain provisions of the Ralph M. Brown Act in order to allow for local legislative bodies to conduct their meetings telephonically or by other electronic means. Pursuant to the Shelter-in-Place Order issued by the San Mateo County Health Officer on March 16, 2020 and March 31, 2020, the statewide Shelter-in-Place Order issued by the Governor in Executive Order N-33-20 on March 19, 2020, and the CDC's social distancing guidelines which discourage large public gatherings, public hearings will not be held in person until the Shelter-in-Place Order is lifted. Instead, members of the public may provide written comments by email to the San Mateo County Planning Liaison Laura Richstone at [LRichstone@smcgov.org](mailto:LRichstone@smcgov.org). To be read into the record and discussed at the meeting, comments must be submitted via email no less than 30 minutes before the scheduled meeting. Comments received after that time will be held for the next scheduled meeting.

#### 1. **Call to Order**

At the virtual meeting room hosted by the San Mateo County Planning Department on the Zoom Video Communications platform due to Covid-19 Shelter-in-Place Orders, Vice Chair BJ Burns called the meeting to order at 7:05 p.m.

#### 2. **Member Roll Call**

##### Regular Committee Members Present:

Judith Humburg  
BJ Burns  
Natalie Sare  
Cynthia Duenas  
William Cook  
Peter Marchi  
Ron Sturgeon  
Lauren Silberman

##### Regular Committee Members Absent:

Louie Figone  
John Vars  
Robert Marsh

##### Nonvoting Committee Members Present:

Koren Widdel, San Mateo County Agricultural Commissioner  
Jess Brown, San Mateo County Farm Bureau Executive Director  
Laura Richstone, Planning Staff Liaison

##### Nonvoting Committee Members Absent:

Jim Howard, Natural Resource Conservation Staff  
Frank McPherson, UC Co-Op Extension Representative

**3. Oral Communications**

To allow the public to address the Committee on any matter not on the agenda.

No members of the public raised issues not on the agenda.

**4. Committee Member Update(s) and/or Questions**

The committee discussed Committee Chair Bob Marsh's extended absence due to family illness.

**5. Committee to Vote** on a proposal to amend the regularly scheduled meeting time to 7:00 p.m. to 9:00 p.m. year-round. This item was placed on the May 11, 2020 agenda and was approved without a motion on the table. The Committee shall vote on this proposal again with a motion to either approve or deny.

Committee Member Bill Cook moved and Committee Member Judee Humburg seconded a motion to approve the proposed meeting time change.

**Motion Carried 8-0-0 with 3 absent members.**

---

**6. Agritourism Memo** to clarify the Agritourism Permit review process and the definition of agritourism as requested by the AAC during its 2019 season.**PUBLIC SPEAKERS:**

None

**COMMITTEE ACTION:**

The Committee discussed: ensuring agriculture remains the primary use of agricultural lands, with agritourism remaining a secondary use; recognizing that past recommendations to the Planning Department regarding the Agritourism Permit process have been incorporated; the 45 day consecutive day requirement for permitting; additional space considerations needed to address COVID-19 concerns; and creative ways to support agriculture activities on the coast, such as through educational events and programming. The Committee requested that a further conversation regarding agricultural educational activities be placed on the next meeting agenda.

Committee Secretary Lauren Silberman moved and Committee Member Ron Sturgeon seconded a motion to make the following two recommendations to the Planning Department regarding the Agritourism Permit process:

1. To streamline the agritourism permitting process, we recommend either allowing permits to last longer than one year or creating a simpler permit renewal process for agritourism permits with no change in activities from year to year.
2. To provide clarity regarding signage, we recommend the Planning Department provide clarifications on the differences between agritourism signage vs. annual farm signage.

**Motion Carried 8-0-0 with 3 absent members.**

**7. Committee Discussion** on current COVID-19 pandemic, potential policies needed to protect local agricultural and water from contamination, how the pandemic may affect local food supply, and access to farm labor.



**PUBLIC SPEAKERS:**

1. Rudy Espinoza
2. Dante Silvestri

**COMMITTEE ACTION:**

The Committee discussed: the need for further services and resources related to COVID-19; requested more bilingual education and resources to farmworkers, including additional testing, PPE, and training on social distancing and other safety measures, and suggested that these services be provided on-site through small outdoor group training for all interested parties. Agricultural Commissioner Koren Widdel highlighted current resources and outreach programs the Agricultural Department provides, including PPE distribution, testing services, and links to additional information on their website including the state's agricultural guidelines for COVID-19 and encouraged additional ideas/dialogue on how to better reach the needs of the agricultural community. The Committee suggested the Agricultural Department coordinate with the Farm Bureau and the Healthcare for the Homeless/Farmworker Health Program to provide additional educational services and resources regarding the pandemic.

The Committee requested a COVID-19 update be added to future meeting agendas throughout the course of this pandemic.

Member of the public Rudy Espinoza, who serves on Farmworker Affairs Committee for the San Mateo County Democrats, stressed the need to provide PPE in addition to testing and education services.

After the meeting, member of the public Dante Silvestri submitted a written public comment that technical issues prevented him from sharing during the meeting, where he recommended that the Agricultural Department also coordinate services with the community resource center Puente de la Costa Sur.

8. **Consideration of the Action Minutes** for May 11, 2020 regular meeting and the May 18, 2020 special meeting.

Committee Vice Chair BJ Burns moved and Committee Member Bill Cook seconded a motion to approve the minutes for both May 2020 meetings.

1. **May 11, 2020 Minutes: Motion Carried 8-0-0 with 3 absent members.**
2. **May 18, 2020 Minutes: Motion Carried 6-0-2 with Committee Members Natalie Sare and Peter Marchi abstaining as they did not attend the May 18 meeting and with 3 absent members.**

9. **Community Development Director's Report**

No action required. The committee discussed the following: which types of PAD permits come before this committee for review; the recent issuance of cannabis cultivation licenses, which constitute the second location in the county licensed for regulated cannabis cultivation activities; and an anticipated future agenda item regarding updates to farm stand policies.

10. **Adjournment**

Meeting was adjourned at 9:14 p.m. by Vice Chair BJ Burns.

---



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ITEM**

**9**

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** July 3, 2020

**TO:** Agricultural Advisory Committee  
**FROM:** Planning Staff  
**SUBJECT:** Community Development Director's Report

**CONTACT INFORMATION:** Laura Richstone, Planner II, 650-363-1829, [lrichstone@smcgov.org](mailto:lrichstone@smcgov.org)

The following is a list of Planned Agricultural District permits and Coastal Development Exemptions for the rural area of the County that have been received by the Planning Department from May 27, 2020 to June 24, 2020.

**PLANNED AGRICULTURAL DISTRICT PERMIT OUTCOMES**

No PAD permits were heard or considered by the Planning Commission or Board of Supervisors during this time period:

**UPCOMING PLANNED AGRICULTURAL DISTRICT PERMIT PROJECTS**

No PAD permit applications were submitted during this time period.

**COASTAL DEVELOPMENT EXEMPTIONS FOR AGRICULTURAL PROJECTS**

No rural CDX applications were submitted during this time period.

**ADDITIONAL ANNOUNCEMENTS**

1. One voluntary Williamson Act Contract nonrenewal for a horse farm was submitted on June 16, 2020.

Owner/Applicant:	BILCRIS Inc.
County File Number:	PLN 2020-00183
Location:	12670 Skyline Blvd, Redwood City.
APN:	067-240-030

2. One application for a new Williamson Act Contract encompassing 476 acres was submitted on June 5, 2020.

Owner:	Coastways Ranch Inc.
Applicant:	Charles Hudson
County File Number:	PLN 2020-00166
Location:	640 Cabrillo Highway, Pescadero
APN(s):	089-230-370; 089-230-390; 089-230-420

3. Draft policy guidelines regarding the definition of produce and farm stands referenced in the June Director's Report has been delayed and will come before the AAC for input at a future date.
4. The next regular meeting of the AAC is scheduled for August 10, 2020. AAC meetings will be held via videoconference until further notice to adhere to social distancing guidelines.